

# CHAMPAIGN CO. JAIL ROOF REPLACEMENT

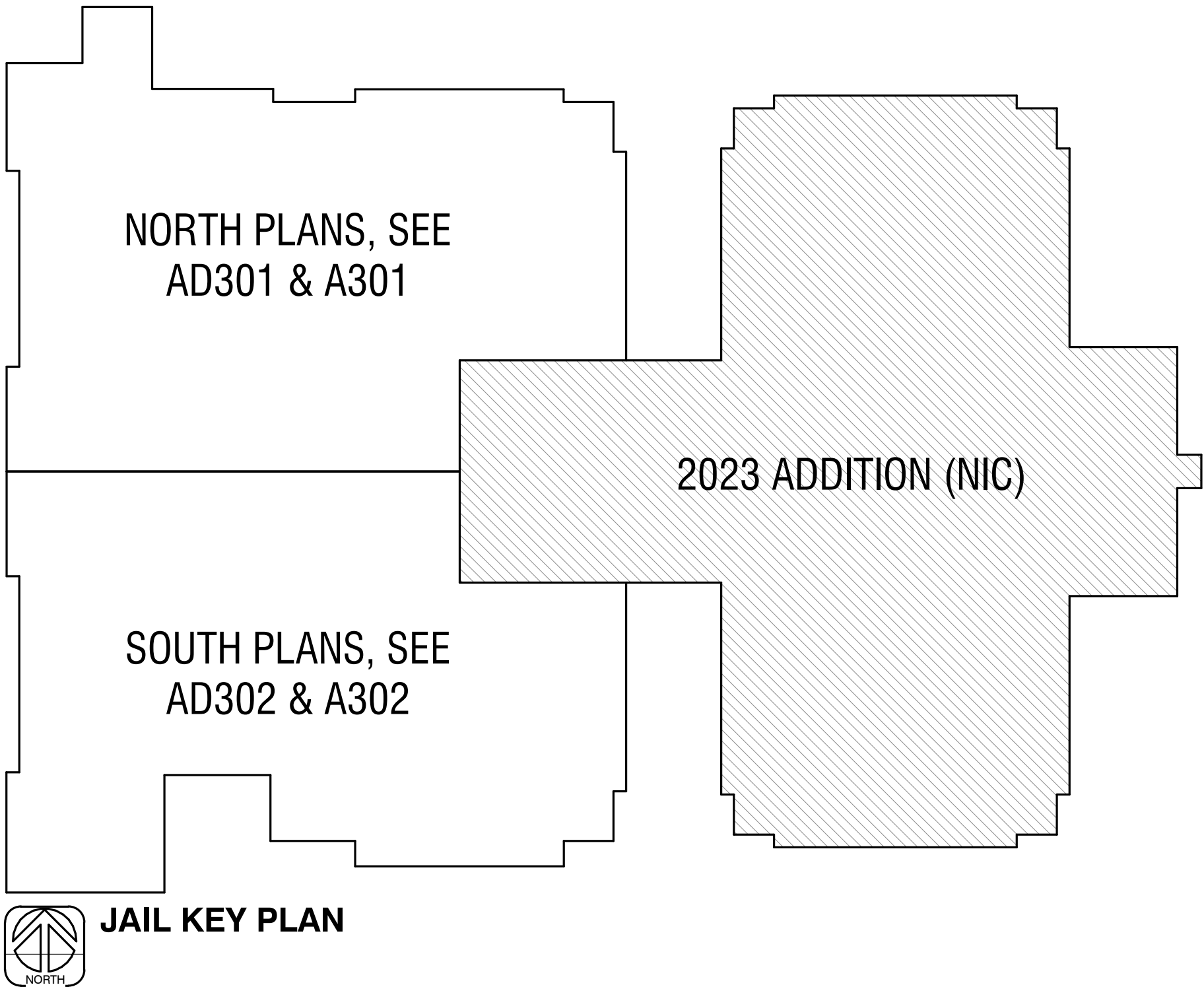
502 S. Lierman Ave.  
Urbana, IL 61802

SHEET LIST

G001	COVER SHEET, SHEET LIST, CODE STUDY, & PROJECT TEAM
A000	ABBREVIATIONS, SYMBOLS, NOTES
AD300	EXISTING ROOF PHOTOS
AD301	DEMOLITION PLAN - NORTH ROOF
AD302	DEMOLITION PLAN - SOUTH ROOF
A301	ROOF PLAN - NORTH
A302	ROOF PLAN - SOUTH
A303	ROOF DETAILS
A304	ROOF DETAILS
A305	ROOF DETAILS
MEP-301	ROOF PLAN - NORTH - MECHANICAL
MEP-302	ROOF PLAN - SOUTH - MECHANICAL

CODE STUDY

APPLICABLE CODES:		
FEDERALLY ADOPTED		
ACCESSIBILITY:	2010	ADA STANDARDS FOR ACCESSIBLE DESIGN
ENVIRONMENTAL:		US ENVIRONMENTAL PROTECTION AGENCY (EPA)
SAFETY:		OCCUPATIONAL HEALTH AND SAFETY REGULATIONS (OSHA)
LOCALLY ADOPTED		
BUILDING CODE:	2021	INTERNATIONAL BUILDING CODE
ELECTRICAL CODE:	2020	NATIONAL ELECTRICAL CODE
FIRE CODE:	2021	INTERNATIONAL FIRE CODE
FUEL/GAS CODE:	2021	INTERNATIONAL FUEL GAS CODE
MECHANICAL CODE:	2021	INTERNATIONAL MECHANICAL CODE
ZONING CODE:		CITY OF URBANA
STATE ADOPTED		
ACCESSIBILITY CODE:	2018	ILLINOIS ACCESSIBILITY CODE
ENERGY CONSERVATION CODE:		ILLINOIS ENERGY CONSERVATION CODE
ENERGY CONSERVATION CODE:	2021	INTERNATIONAL ENERGY CONSERVATION CODE w/ ILLINOIS AMENDMENTS
ENERGY CONSERVATION CODE:		ASHRAE 90.1 w/ ILLINOIS AMENDMENTS
LIFE SAFETY CODE:	2015	NFPA 101
PLUMBING CODE:	2014	ILLINOIS STATE PLUMBING CODE



ARCHITECT:  
REIFSTECK WAKEFIELD FANNING & COMPANY  
909 ARROW ROAD  
CHAMPAIGN, IL 61821  
PHONE: 217.351.4100

MECH/ELEC/PLBG ENGINEER:  
GHR ENGINEERS AND ASSOCIATES  
1615 SOUTH NEIL STREET  
CHAMPAIGN, IL 61820  
PHONE: 217.356.0536

STRUCTURAL ENGINEER:  
ERA CONSULTANTS  
2416 GALEN DRIVE  
CHAMPAIGN, IL 61821  
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REIFSTECK  
WAKEFIELD  
FANNING

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Architect:  
Date Signed:  
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REVISIONS		
No.	Date	Description

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ISSUE FOR BID

COVER SHEET, SHEET LIST,  
CODE STUDY, & PROJECT  
TEAM

DATE	22MAY25	SHEET
PROJECT	202511	

G001



EXISTING PHOTOS- ROOF



IMAGE 01

REMOVE & DISPOSE COPING CAP, MEMBRANE, FLASHINGS, TRIM, & FASTENERS, TYP. SEE DETAILS FOR FURTHER INFORMATION.

REMOVE & DISPOSE PITCH POCKET, MEMBRANE, FLASHINGS, TRIM, & FASTENERS, TYP. SEE DETAILS FOR FURTHER INFORMATION.



IMAGE 02

LIGHTNING PROTECTION SYSTEM, SEE MEP DWGS

REMOVE + REINSTALL ANTENNA ASSEMBLY



IMAGE 03

REMOVE AND DISPOSE MEMBRANE, FLASHINGS, AGGREGATE, & FASTENERS, TYP

TYPICAL CONDUIT PENETRATION, REMOVE AND DISPOSE MEMBRANE, FLASHINGS, & FASTENERS



IMAGE 04

REMOVE AND REINSTALL ANTENNA ASSEMBLY



IMAGE 05

REMOVE & SALVAGE ELECTRICAL BOX & UNISTRUT SUPPORTS FOR REFLASHING OF CURBS



IMAGE 06



IMAGE 07

EXPANSION JOINT, REMOVE & DISPOSE MEMBRANE, FLASHINGS, TRIM, JOINT COVER, & FASTENERS, SEE DETAILS FOR FURTHER INFORMATION

REMOVE & SALVAGE 1ST METAL WALL PANEL AND TRIM MEMBER AGAINST PRECAST WALL PANEL FOR REINSTALLATION IN SAME LOCATION AFTER INSTALLATION OF EXPANSION JOINT FLASHING AGAINST PRECAST WALL PANEL



IMAGE 08

METAL WALL PANEL & BASE TRIM



IMAGE 09

EXPANSION JOINT, REMOVE & DISPOSE MEMBRANE, FLASHINGS, TRIM, JOINT COVER, & FASTENERS, SEE DETAILS FOR FURTHER INFORMATION



IMAGE 10

REMOVE & SALVAGE 1ST METAL WALL PANEL AND TRIM MEMBER AGAINST PRECAST WALL PANEL FOR REINSTALLATION IN SAME LOCATION AFTER INSTALLATION OF EXPANSION JOINT FLASHING AGAINST PRECAST WALL PANEL



IMAGE 11

MEP DRAWING FOR EXTENSION OF CURB



IMAGE 12



IMAGE 13

REMOVE & SALVAGE GUTTER & DOWNSPOUT FOR RE-INSTALLATION IN SAME LOCATION, DISPOSE SPLASH PAD



IMAGE 14

REMOVE & SALVAGE METAL LADDER W/ MULTIPLE CONNECTION POINTS FOR RE-INSTALLATION IN SAME LOCATION

REMOVE & DISPOSE MEMBRANE, FLASHINGS, TRIM, & FASTENERS, SEE DETAILS FOR FURTHER INFORMATION



IMAGE 15



IMAGE 16

REMOVE & SALVAGE ELECTRICAL BOX & UNISTRUT SUPPORTS FOR REFLASHING OF CURBS



IMAGE 17

ROOF HATCH REMOVE AND REINSTALL TO ALLOW FOR NEW FLASHING

RTU SUPPORT FRAME TO REMAIN

TYP. REMOVE FLASHING



IMAGE 18



IMAGE 19

REMOVE & SALVAGE STAIRS FOR ROOFING INSTALLATION



IMAGE 20



IMAGE 21

LIGHTNING PROTECTION SYSTEM, SEE MEP DWGS



IMAGE 22



IMAGE 23



IMAGE 24



IMAGE 25



IMAGE 26



IMAGE 27

TEMPORARILY SUPPORT ALUMINUM STAIRS. REMOVE (3) SUPPORT BRACKETS TO ALLOW INSTALLATION OF MEMBRANE ROOFING.



IMAGE 28



IMAGE 29

REMOVE & SALVAGE 1ST METAL WALL PANEL AND TRIM MEMBER AGAINST PRECAST WALL PANEL FOR REINSTALLATION IN SAME LOCATION AFTER INSTALLATION OF EXPANSION JOINT FLASHING AGAINST PRECAST WALL PANEL

EXPANSION JOINT, REMOVE & DISPOSE MEMBRANE, FLASHINGS, TRIM, JOINT COVER, & FASTENERS, SEE DETAILS FOR FURTHER INFORMATION



IMAGE 30

REMOVE & DISPOSE MEMBRANE, FLASHINGS, TRIM, & FASTENERS, SEE DETAILS FOR FURTHER INFORMATION



IMAGE 31

REMOVE & DISPOSE EXISTING METAL COVERS, EXIST CURBS TO REMAIN



IMAGE 32

METAL SCUPPER ASSEMBLY TO REMAIN, REMOVE & DISPOSE MEMBRANE, FLASHINGS, TRIM, & FASTENERS, SEE DETAILS FOR FURTHER INFORMATION.



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ISSUE FOR BID

EXISTING ROOF PHOTOS

DATE  
22MAY25  
PROJECT  
202511

SHEET

AD300

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- DEMOLITION NOTES**
- A. DIMENSIONS ARE TO EDGE OF ROOF. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS SHOWN ON PLANS PRIOR TO THE START OF WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- B. DO NOT SCALE DIMENSIONS OFF DRAWINGS. USE WRITTEN OR CALCULATED DIMENSIONS, MISSING DIMENSIONS, OR DIMENSIONS NOT APPARENT SHALL BE VERIFIED WITH ARCHITECT.
- C. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS & ELEVATIONS SHOWN ON PLANS PRIOR TO THE START OF WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- D. CONTRACTOR TO FIELD VERIFY LOCATION, SIZES AND QUANTITIES OF ROOF PENETRATIONS AND EQUIPMENT CURBS PRIOR TO BIDDING.
- E. VERIFY & MAINTAIN LOCATION OF EXISTING POWER, COMMUNICATION & DATA CABLES TO PREVENT INTERRUPTION OF SERVICE.
- F. COORDINATE DEMOLITION AND PHASING EFFORTS WITH THE ARCHITECT & OWNER'S REPRESENTATIVE. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATION AND TO PROVIDE BUILDING USER'S SAFETY.
- G. COORDINATE DISRUPTION OF UTILITY SERVICES WITH OWNER & AS SPECIFIED.
- H. MAINTAIN A SECURE AND WATERTIGHT ENCLOSURE.
- I. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ANY MATERIALS.
- J. PROVIDE PROTECTION FOR EXISTING BUILDING MATERIALS & EQUIPMENT FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
- K. REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
- L. PATCH ROOF PENETRATIONS RESULTING FROM REMOVAL OR RE-ROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC AS REQUIRED TO MAINTAIN A WEATHER-TIGHT EXTERIOR ENCLOSURE. MATCH FINISH OF NEW OR EXISTING ADJACENT SURFACES.
- M. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS OTHERWISE NOTED, OR AS AUTHORIZED BY ARCHITECT.
- N. CUT AND REMOVE ALL EXISTING FLASHING MATERIALS.
- O. ANCHOR EXISTING INSULATION INTO EXISTING ROOF DECK (MTL AND PRE-CAST CONC.) ANCHORING METHOD PER MANUFACTURE GUIDELINES BASED ON DEPTH AND DECK MATERIAL.
- P. AFTER REMOVAL OF MEMBRANE AND BALLAST, CUT OUT INSULATION TO DECK TO EXPOSE CONNECTOR POINTS BETWEEN PRECAST WALL PANELS AND PLANK. RETAIN INSULATION FOR REINSTALLATION (AT CONTRACTOR OPTION TO PROVIDE NEW) AFTER STRUCTURAL REPAIR WORK. AT LOCATIONS WHERE CONNECTORS ARE NOT PRESENT INSTALL CONNECTORS PER DETAIL 5/A305.

**ROOF CORES:**

- ROOF CORE 1**  
14" TOTAL DEPTH. METAL DECK, 5" HARBORD, 11.5" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 2**  
10.5" TOTAL DEPTH. METAL DECK, 5" HARBORD, 8" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 3**  
13.25" TOTAL DEPTH. METAL DECK, 5 HARBORD, 10.75" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 4**  
5.9" TOTAL DEPTH. HARDENED CONCRETE DECK. 3.5" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 5**  
9.25" TOTAL DEPTH. HARDENED CONCRETE DECK, 7.25" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 6**  
9 5/8" TOTAL DEPTH. METAL DECK, 5/8" HARBORD, 7" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 7**  
2 5/8" TOTAL DEPTH. METAL DECK, 5/8" HARBORD, 2" XPS, BALLASTED EPDM.
- ROOF CORE 8**  
6.5" TOTAL DEPTH. HARDENED CONCRETE DECK, 4.5" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 9**  
3.9" TOTAL DEPTH. METAL DECK 5/8" HARBORD, 5/8" ISO BOARD, 2" ISO BOARD, BALLASTED EPDM.
- ROOF CORE 10**  
6.5" TOTAL DEPTH. METAL DECK, 5/8" HARBORD, 3 5/8" EPS, 2" ISO BOARD, BALLASTED EPDM.
- ROOF CORE 11**  
17.5" TOTAL DEPTH. METAL DECK, 5" HARBORD, 15" EPS, 2" XPS, BALLASTED EPDM.
- ROOF CORE 12**  
3.25" TOTAL DEPTH. METAL DECK, 5" HARBORD, .75" EPS, 2" XPS, BALLASTED EPDM.

**EXISTING ROOF ASSEMBLIES**

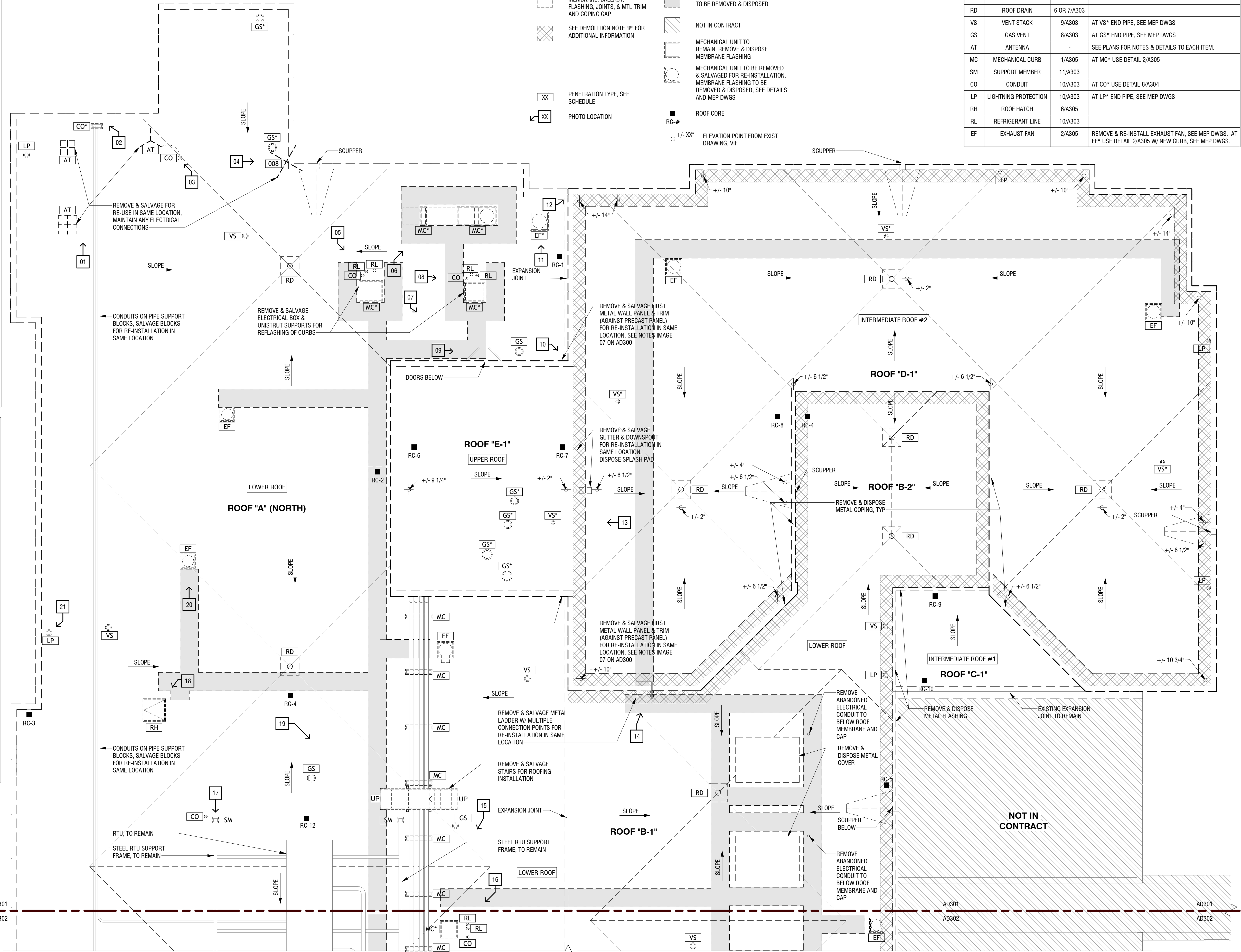
- ROOF "A"**  
METAL DECK, 1/2" HARBORD, TAPERED EPS, 2" XPS, BALLASTED EPDM.
- ROOF "B"**  
CONCRETE DECK, TAPERED EPS, 2" XPS, BALLASTED EPDM.
- ROOF "C"**  
METAL DECK, EXISTING 5/8" HARBORD, TAPERED EPS, 2" XPS, BALLASTED EPDM.
- ROOF "D"**  
CONCRETE DECK, TAPERED EPS, 2" XPS, BALLASTED EPDM.
- ROOF "E"**  
METAL DECK, 5/8" HARBORD, TAPERED EPS, 2" XPS, BALLASTED EPDM.

**ROOF DEMOLITION LEGEND**

- REMOVE & DISPOSE OF ROOF MEMBRANE, BALLAST, FLASHING, JOINTS, & MTL TRIM AND COPING CAP
- SEE DEMOLITION NOTE "P" FOR ADDITIONAL INFORMATION
- PENETRATION TYPE, SEE SCHEDULE
- PHOTO LOCATION
- CONCRETE WALKWAY PAVERS TO BE REMOVED & DISPOSED
- NOT IN CONTRACT
- MECHANICAL UNIT TO REMAIN, REMOVE & DISPOSE MEMBRANE FLASHING
- MECHANICAL UNIT TO BE REMOVED & SALVAGED FOR RE-INSTALLATION, MEMBRANE FLASHING TO BE REMOVED & DISPOSED, SEE DETAILS AND MEP DWGS
- ROOF CORE
- ELEVATION POINT FROM EXIST DRAWING, VIF

**ROOF PENETRATION TYPE SCHEDULE**

MARK	TYPE	DETAIL	REMARKS
RD	ROOF DRAIN	6 OR 7/A303	
VS	VENT STACK	9/A303	AT VS* END PIPE, SEE MEP DWGS
GS	GAS VENT	8/A303	AT GS* END PIPE, SEE MEP DWGS
AT	ANTENNA	-	SEE PLANS FOR NOTES & DETAILS TO EACH ITEM.
MC	MECHANICAL CURB	1/A305	AT MC* USE DETAIL 2/A305
SM	SUPPORT MEMBER	11/A303	
CO	CONDUIT	10/A303	AT CO* USE DETAIL 8/A304
LP	LIGHTNING PROTECTION	10/A303	AT LP* END PIPE, SEE MEP DWGS
RH	ROOF HATCH	6/A305	
RL	REFRIGERANT LINE	10/A303	
EF	EXHAUST FAN	2/A305	REMOVE & RE-INSTALL EXHAUST FAN, SEE MEP DWGS. AT EF* USE DETAIL 2/A305 W/ NEW CURB, SEE MEP DWGS.



**1**  
AD301  
ROOF PLAN  
BEARING ELEVATION  
1/8" = 1'-0"



ROOF PENETRATION TYPE SCHEDULE			
MARK	TYPE	DETAIL	REMARKS
RD	ROOF DRAIN	6 OR 7/A303	
VS	VENT STACK	9/A303	AT VS* END PIPE, SEE MEP DWGS
GS	GAS VENT	8/A303	AT GS* END PIPE, SEE MEP DWGS
AT	ANTENNA	-	SEE PLANS FOR NOTES & DETAILS TO EACH ITEM.
MC	MECHANICAL CURB	1/A305	AT MC* USE DETAIL 2/A305
SM	SUPPORT MEMBER	11/A303	
CO	CONDUIT	10/A303	AT CO* USE DETAIL 8/A304
LP	LIGHTNING PROTECTION	10/A303	AT LP* END PIPE, SEE MEP DWGS
RH	ROOF HATCH	6/A305	
RL	REFRIGERANT LINE	10/A303	
EF	EXHAUST FAN	2/A305	REMOVE & RE-INSTALL EXHAUST FAN, SEE MEP DWGS. AT EF* USE DETAIL 2/A305 W/ NEW CURB, SEE MEP DWGS.

ROOF DEMOLITION LEGEND	
	REMOVE & DISPOSE OF ROOF MEMBRANE, BALLAST, FLASHING, JOINTS, & MTL TRIM AND COPING CAP
	SEE DEMOLITION NOTE "P" FOR ADDITIONAL INFORMATION
	CONCRETE WALKWAY PAVERS TO BE REMOVED & DISPOSED
	NOT IN CONTRACT
	MECHANICAL UNIT TO REMAIN, REMOVE & DISPOSE MEMBRANE FLASHING
	MECHANICAL UNIT TO BE REMOVED & SALVAGED FOR RE-INSTALLATION, MEMBRANE FLASHING TO BE REMOVED & DISPOSED, SEE DETAILS AND MEP DWGS
	ROOF CORE
	XX PENETRATION TYPE, SEE SCHEDULE
	XX PHOTO LOCATION
	RC-# ROOF CORE
	+/- XX" ELEVATION POINT FROM EXIST DRAWING, VIF

**REIFSTECK WAKEFIELD FANNING**  
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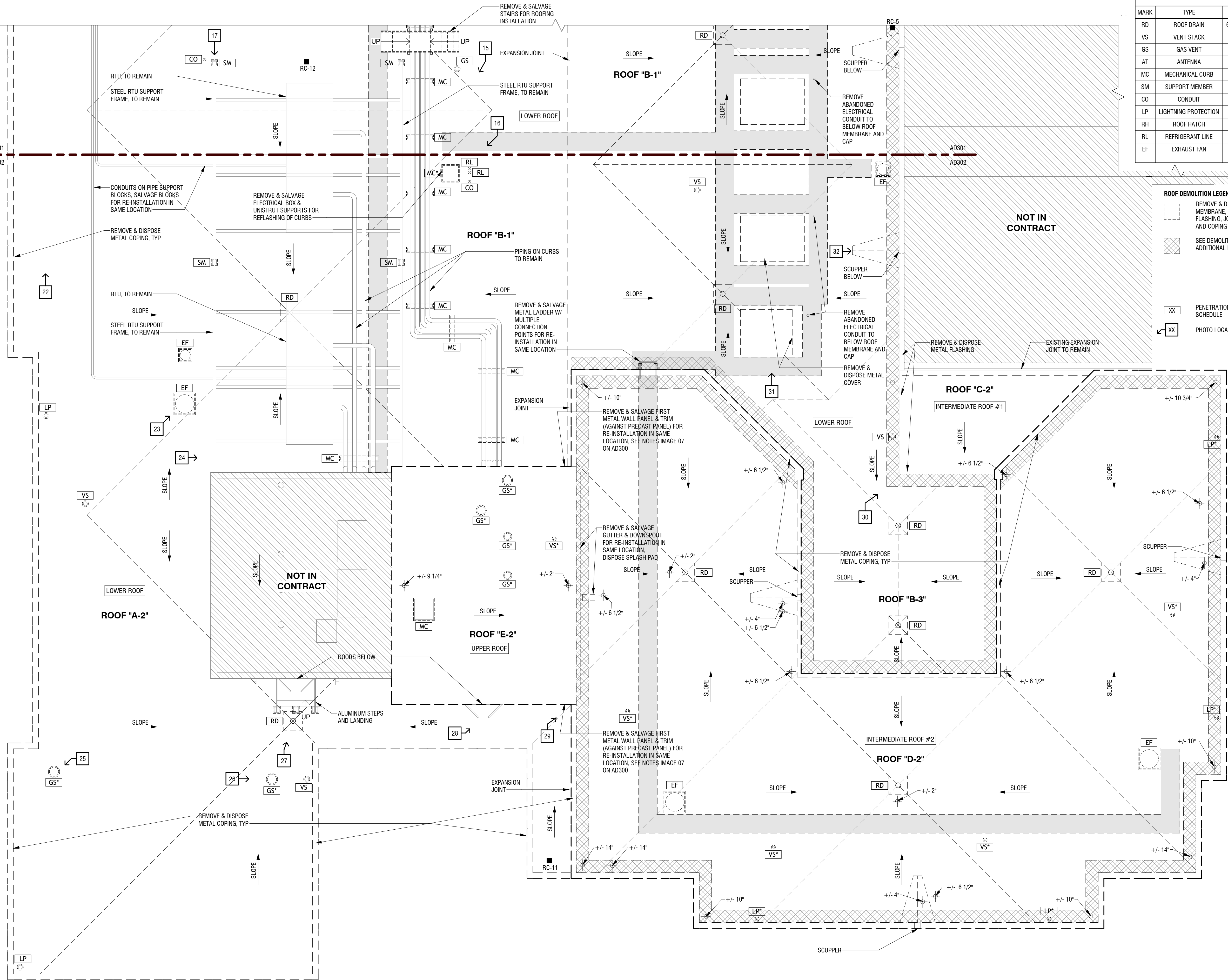
No.	Date	Description

**CHAMPAIGN CO. JAIL ROOF REPLACEMENT**  
502 S. Lierman Ave.  
Urbana, IL 61802

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DEMOLITION PLAN - SOUTH ROOF

DATE 22MAY25  
PROJECT 202511  
SHEET  
**AD302**



**1 ROOF PLAN**  
BEARING ELEVATION  
1/8" = 1'-0"

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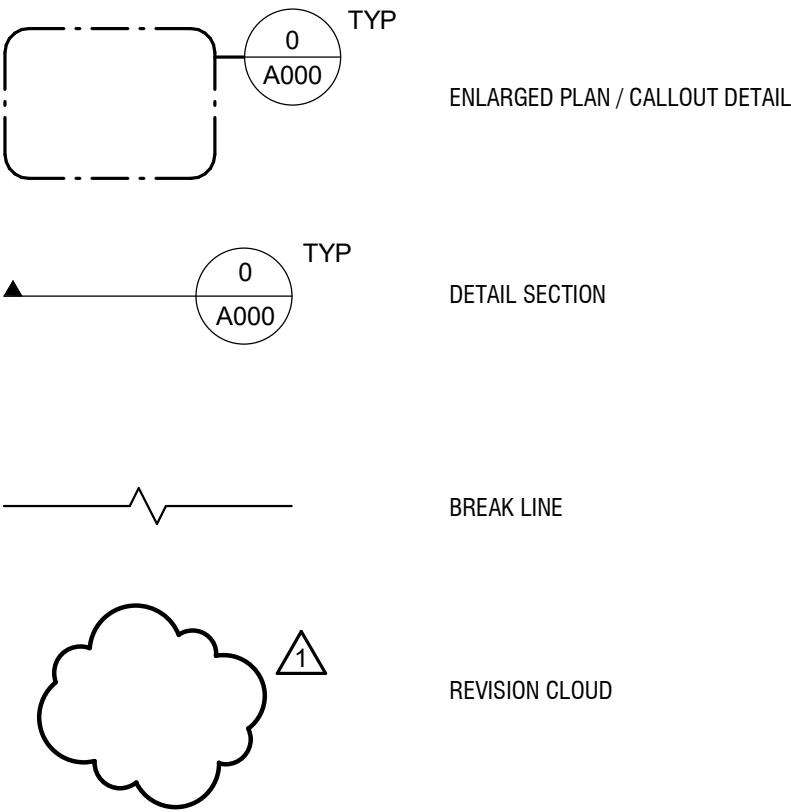


ABBREVIATIONS

A	AB	ANCHOR BOLT	M	MAS	MASONRY				
	A/C	AIR CONDITIONING		MATL	MATERIAL				
	ACCESS	ACCESSIBLE		MAX	MAXIMUM				
	ACOUST	ACOUSTICAL		MECH	MECHANICAL				
	ADD	ADDENDUM		MFR	MANUFACTURER				
	AFF	ABOVE FINISH FLOOR		MIN	MINIMUM				
	AHU	AIR HANDLING UNIT		MIR	MIRROR				
	ALT	ALTERNATE		MISC	MISCELLANEOUS				
	ALUM	ALUMINUM		MJ	MOVEMENT JOINT				
	APPROX	APPROXIMATE		MO	MASONRY OPENING				
@	AT	MTL	METAL						
B	BB	BOTTOM OF BEAM	N	N/A	NOT APPLICABLE				
	BF	BOTTOM OF FOOTING		NIC	NOT IN CONTRACT				
	BD	BOARD		NO	NUMBER				
	BKT	BRACKET		NOM	NOMINAL				
	BLDG	BUILDING		NTS	NOT TO SCALE				
	BLKG	BLOCKING		O	ON CENTER OVER HEAD				
	BM	BENCH MARK							
	B/O	BOTTOM OF							
	BOT	BOTTOM							
	BRG	BEARING							
BTW	BETWEEN								
C	CJ	CONTROL JOINT	P	PART	PARTITION				
	CL	CENTERLINE		PERIM	PERIMETER				
	CLG	CEILING		PL	PLATE, PROPERTY LINE				
	CLR	CLEAR		PLAM	PLASTIC LAMINATE				
	CMU	CONCRETE MASONRY UNIT		PLBG	PLUMBING				
	COL	COLUMN		PLF	POUNDS PER LINEAR FOOT				
	CONC	CONCRETE		PLWD	PLYWOOD				
	CONF	CONFERENCE		PNT	PAINT				
	CONST	CONSTRUCTION		POLY	POLYETHYLENE				
	CONT	CONTINUOUS		POLYSIO	POLYISOCYANURATE				
CORR	CORRIDOR	PAIR	PAIR						
CPT	CARPET	PSF	POUNDS PER SQUARE FOOT						
CT	CERAMIC TILE	PSI	POUNDS PER SQUARE INCH						
CYL	CYLINDER	PT	PRESSURE TREATED						
D	D	DEPTH, DEEP	Q	QT	QUARRY TILE				
	DBL	DOUBLE							
	DEG	DEGREE							
	DEMO	DEMOLITION							
	DF	DRINKING FOUNTAIN							
	DIA	DIAMETER							
	DIM	DIMENSION							
	DN	DOWN							
	DTL	DETAIL							
	DS	DOWNSPOUT							
DWG	DRAWING								
E	EA	EACH	R	R	RADIUS, RISER				
	EIFS	EXT INSUL & FINISH SYSTEM		RB	RESILIENT BASE				
	EJ	EXPANSION JOINT		RCP	REFLECTED CEILING PLAN				
	ELEC	ELECTRICAL		RD	ROOF DRAIN				
	EL	ELEVATION		REF	REFRIGERATOR				
	ELEV	ELEVATOR		REINF	REINFORCED				
	ENG	ENGINEER		RM	ROOM				
	EQ	EQUAL		RO	ROUGH OPENING				
	EQUIP	EQUIPMENT		REQ	REQUIRED				
	EXIST	EXISTING		RUB	RUBBER				
EXT	EXTERIOR	S	SAT	SUSPENDED ACOUSTICAL TILE					
F	FBO		FURNISHED BY OTHERS	SCHED	SCHEDULE				
	FD		FLOOR DRAIN	SECT	SECTION				
	FE		FIRE EXTINGUISHER	SF	SQUARE FOOT				
	FF		FINISH FLOOR	SHT	SHEET				
	FIN		FINISH	SIM	SIMILAR				
	FL		FLOOR	SOG	SLAB ON GRADE				
	FT		FEET	SPEC	SPECIFICATION				
	FTG		FOOTING	STD	STANDARD				
	FURN		FURNITURE	STL	STEEL				
	G	GA	GAUGE	STOR	STORAGE				
GALV		GALVANIZED	STRUCT	STRUCTURE (STRUCTURAL)					
GC		GENERAL CONTRACTOR	SUSP	SUSPENDED					
GEN		GENERAL	SVT	SOLID VINYL TILE					
GLAZ		GLAZING	SYST	SYSTEM					
GSF		GROSS SQUARE FEET	T	TEMP	TEMPERED, TEMPORARY				
GWB		GYPSUM BOARD		TF	TRANSPARENT FINISH				
H		H		HIGH	T&G	TONGUE AND GROOVE			
		HDWR		HARDWARE	T/O	TOP OF			
		HM		HOLLOW METAL	TR	TREAD			
	HORIZ	HORIZONTAL		TYP	TYPICAL				
	HT	HEIGHT	U	UON	UNLESS OTHERWISE NOTED				
	HVAC	HEATING, VENTILATING, A/C							
	I	IN				INCH	V	VEST	VESTIBULE
		INSUL				INSULATION		VERT	VERTICAL
		INT				INTERIOR		VIF	VERIFY IN FIELD
		J				JAN		JANITOR	VCT
L			JAN	JANITOR	VS	VINYL STRIP FLOORING			
					W	W		WIDE	
						W/		WITH	
						WD		WOOD	
						WDW		WINDOW	
						WH		WATER HEATER	
	W/O					WITHOUT			
	WWF					WELDED WIRE FABRIC			
	L					L	ANGLE		
		LAM				LAMINATE			
LAV		LAVATORY							
LB		POUND							
LIN		LINOLEUM							
LLH		LONG LEG HORIZONTAL							
LLV		LONG LEG VERTICAL							

SYMBOLS LEGEND - GENERAL

NOTE: LIST IS NOT EXTENSIVE - SEE INDIVIDUAL DISCIPLINE SHEETS FOR ADDITIONAL SYMBOLS



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- M. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS OTHERWISE NOTED, OR AS AUTHORIZED BY ARCHITECT.
- N. CUT AND REMOVE ALL EXISTING FLASHING MATERIALS.
- O. ANCHOR EXISTING INSULATION INTO EXISTING ROOF DECK (MTL AND PRE-CAST CONC.) ANCHORING METHOD PER MANUFACTURE GUIDELINES BASED ON DEPTH AND DECK MATERIAL.
- P. AFTER REMOVAL OF MEMBRANE AND BALLAST, CUT OUT INSULATION TO DECK TO EXPOSE CONNECTOR POINTS BETWEEN PRECAST WALL PANELS AND PLANK. RETAIN INSULATION FOR REINSTALLATION (AT CONTRACTOR OPTION TO PROVIDE NEW) AFTER STRUCTURAL REPAIR WORK. AT LOCATIONS WHERE CONNECTORS ARE NOT PRESENT INSTALL CONNECTORS PER DETAIL 5/A305.

GENERAL NOTES

- A. DO NOT SCALE DIMENSIONS OFF DRAWINGS. MISSING DIMENSIONS, OR DIMENSIONS NOT APPARENT, SHALL BE VERIFIED WITH ARCHITECT OR FIELD VERIFIED.
- B. DIMENSIONS ARE TO EDGE OF ROOF. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS & DIMENSIONS SHOWN ON PLANS PRIOR TO THE START OF WORK. NOTIFY ARCHITECT OF DISCREPANCIES.
- C. COORDINATE DEMOLITION & PHASING EFFORTS WITH ARCHITECT & OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS & TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATION SHALL BE PRE-APPROVED & COORDINATED WITH OWNER'S REPRESENTATIVE.
- D. PROVIDE PROTECTION FOR EXISTING BUILDING MATERIALS & EQUIPMENT FROM DAMAGE DUE TO DEMOLITION OR CONSTRUCTION-RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
- E. REPAIR OR REPLACE ITEMS DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
- F. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS OTHERWISE NOTED, OR AS AUTHORIZED BY ARCHITECT.
- G. PATCH ROOF PENETRATIONS RESULTING FROM REMOVAL OR RE-ROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC AS REQUIRED TO MAINTAIN A WEATHER-TIGHT EXTERIOR ENCLOSURE. MATCH FINISH OF NEW OR EXISTING ADJACENT SURFACES.
- H. MAINTAIN A SECURE & WEATHER-TIGHT ENCLOSURE.
- I. RESET ALL MECHANICAL UNITS AND FANS IN THE SAME PLACE AND LEVEL ONCE ROOFING INSTALLATION IS COMPLETED. RE-CONNECT ELECTRICAL CONNECTIONS FOR SUPPLY FANS, EXHAUST FANS, AND MECHANICAL EQUIPMENT. SEE MEP DRAWINGS FOR FURTHER SCOPE.



**REIFSTECK  
WAKEFIELD  
FANNING**

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217.351.4100 www.rwf-arch.com  
License Number: 1840004917-001

Architect:  
Date Signed:  
License Expires: 11/30/2026

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REVISIONS		
No.	Date	Description

CHAMPAIGN CO.  
JAIL ROOF  
REPLACEMENT  
502 S. Lierman Ave.  
Urbana, IL 61802

UI Building No  
UI Building Name  
UI Project No

ISSUE FOR BID

ABBREVIATIONS, SYMBOLS,  
NOTES

DATE  
22MAY25  
PROJECT  
202511

SHEET  
**A000**



# ROOF ASSEMBLIES

**ROOF "A"**  
METAL DECK, C 1/2" HARDBOARD, EXISTING TAPERED EPS, EXISTING 2" XPS, 1/2" COVER BOARD, TPO MEMBRANE

**ROOF "B"**  
CONCRETE DECK, EXISTING TAPERED EPS, EXISTING 2" XPS, 1/2" COVER BOARD, TPO MEMBRANE

**ROOF "C"**  
METAL DECK, EXISTING 5/8" HARDBOARD, EXISTING TAPERED EPS, EXISTING 2" XPS, 1/2" COVER BOARD, TPO MEMBRANE

**ROOF "D"**  
CONCRETE DECK, EXISTING TAPERED EPS, EXISTING 2" XPS, 2" XPS, 1/2" COVER BOARD, TPO MEMBRANE

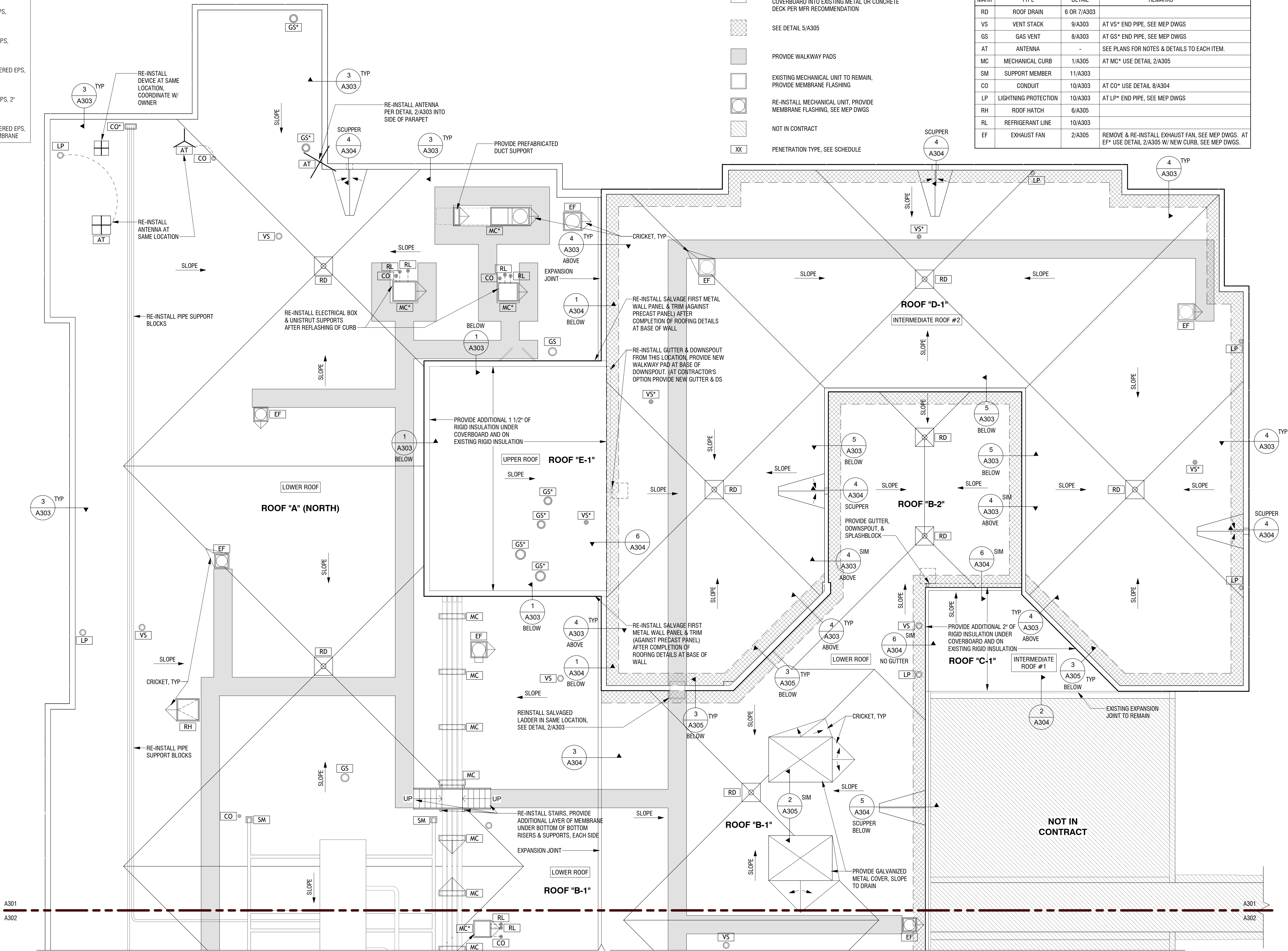
**ROOF "E"**  
METAL DECK, EXISTING 5/8" HARDBOARD, EXISTING TAPERED EPS, EXISTING 2" XPS, 1 1/2" XPS, 1/2" COVER BOARD, TPO MEMBRANE

## ROOF NEW WORK LEGEND

- PROVIDE COVERBOARD & MEMBRANE ROOFING ON EXISTING RIGID INSULATION, UON. ANCHOR COVERBOARD INTO EXISTING METAL OR CONCRETE DECK PER MFR RECOMMENDATION
- SEE DETAIL 5/A305
- PROVIDE WALKWAY PADS
- EXISTING MECHANICAL UNIT TO REMAIN, PROVIDE MEMBRANE FLASHING
- RE-INSTALL MECHANICAL UNIT, PROVIDE MEMBRANE FLASHING, SEE MEP DWGS
- NOT IN CONTRACT
- PENETRATION TYPE, SEE SCHEDULE

## ROOF PENETRATION TYPE SCHEDULE

MARK	TYPE	DETAIL	REMARKS
RD	ROOF DRAIN	6 OR 7/A303	
VS	VENT STACK	9/A303	AT VS* END PIPE, SEE MEP DWGS
GS	GAS VENT	8/A303	AT GS* END PIPE, SEE MEP DWGS
AT	ANTENNA	-	SEE PLANS FOR NOTES & DETAILS TO EACH ITEM.
MC	MECHANICAL CURB	1/A305	AT MC* USE DETAIL 2/A305
SM	SUPPORT MEMBER	11/A303	
CO	CONDUIT	10/A303	AT CO* USE DETAIL 8/A304
LP	LIGHTNING PROTECTION	10/A303	AT LP* END PIPE, SEE MEP DWGS
RH	ROOF HATCH	6/A305	
RL	REFRIGERANT LINE	10/A303	
EF	EXHAUST FAN	2/A305	REMOVE & RE-INSTALL EXHAUST FAN, SEE MEP DWGS. AT EF* USE DETAIL 2/A305 W/ NEW CURB, SEE MEP DWGS.



1  
A301

**ROOF PLAN**  
BEARING ELEVATION  
1/8" = 1'-0"

RE-INSTALL ELECTRICAL BOX & UNISTRUT SUPPORTS AFTER REFLASHING OF CURB



**REIFSTECK WAKEFIELD FANNING**  
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Architect:  
Date Signed: 11/30/2026  
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## REVISIONS

No. Date Description

**CHAMPAIGN CO. JAIL ROOF REPLACEMENT**  
502 S. Lierman Ave.  
Urbana, IL 61802

ISSUE FOR BID

ROOF PLAN - NORTH

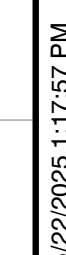
DATE  
22MAY25  
PROJECT  
202511

SHEET

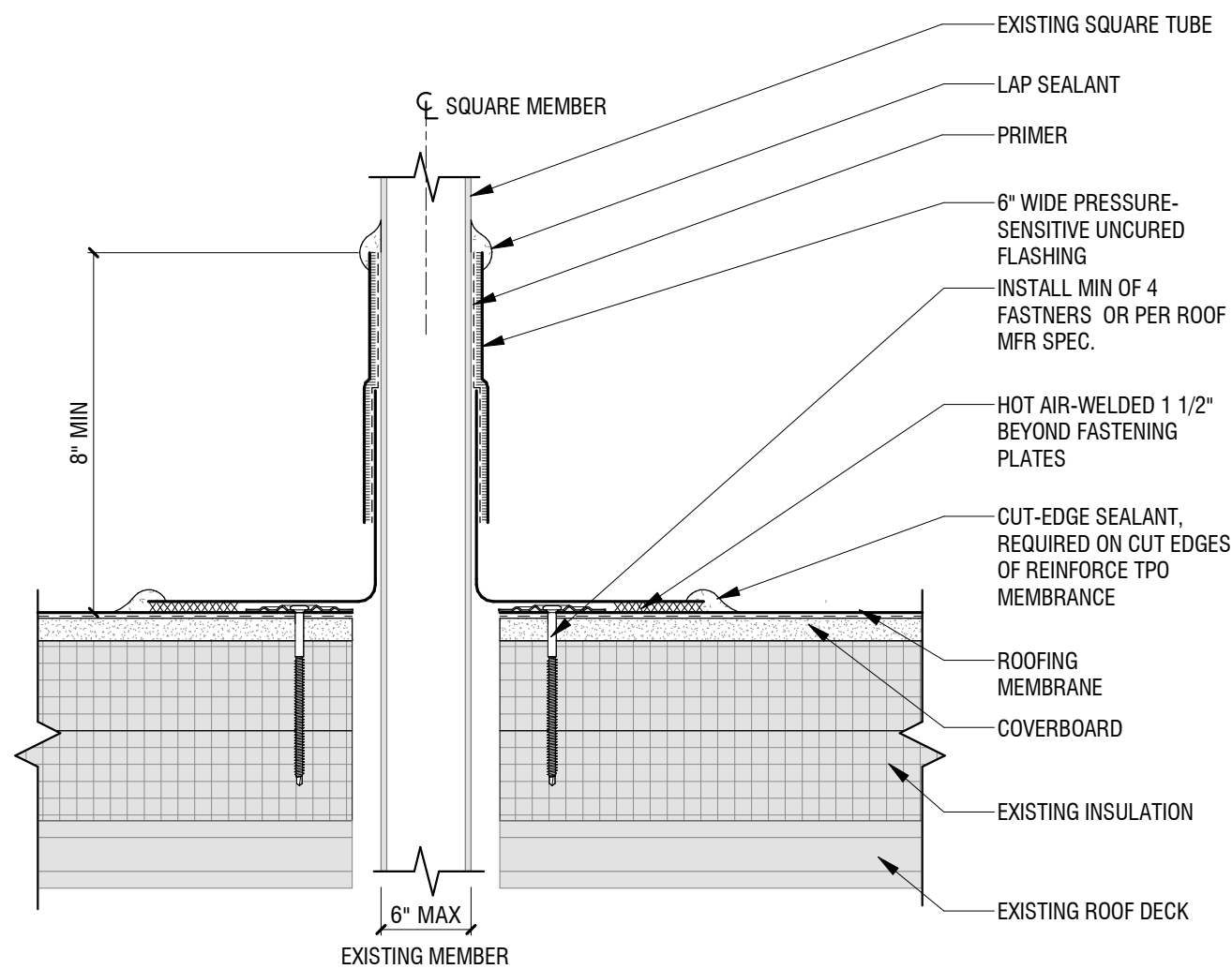
**A301**

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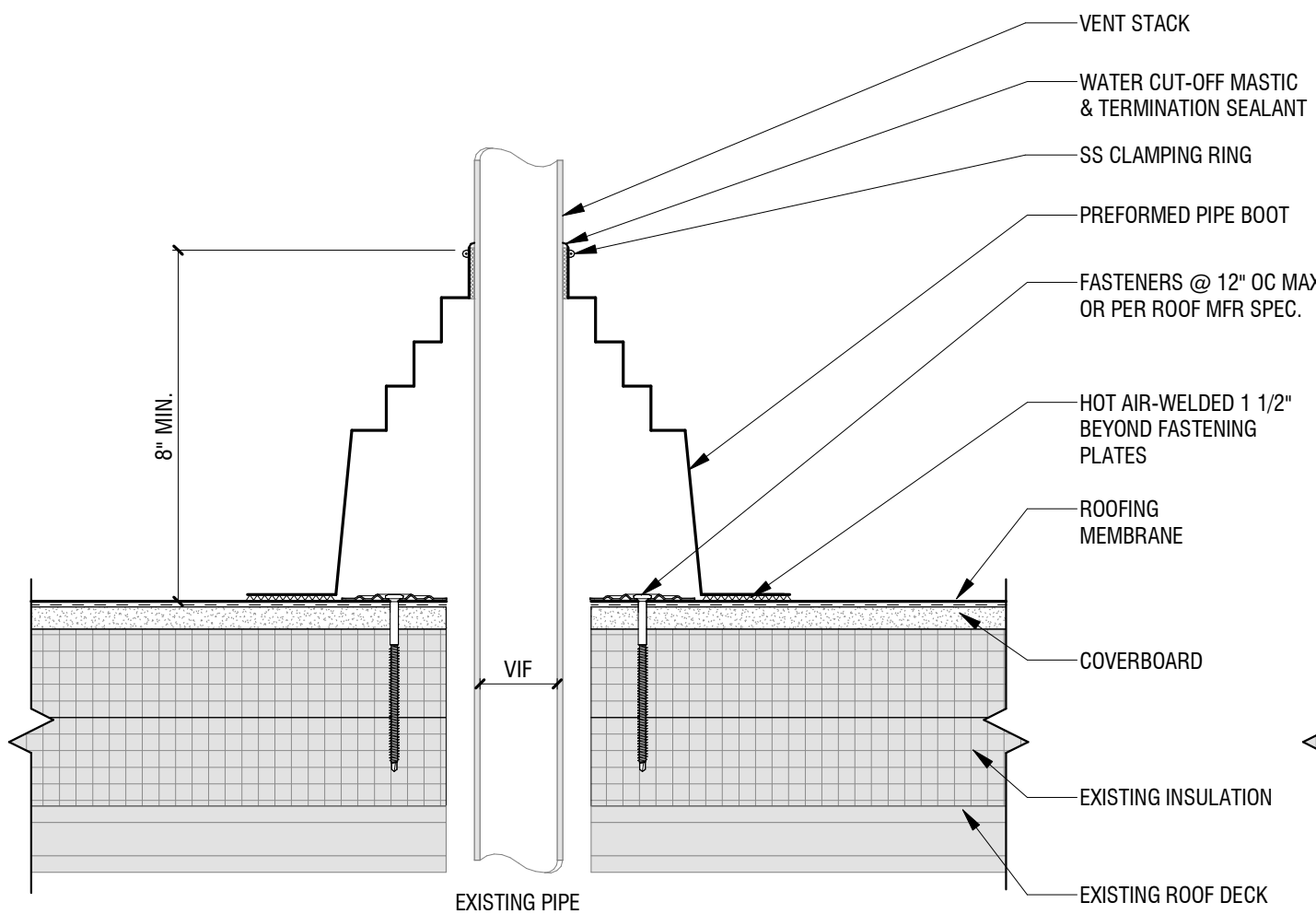




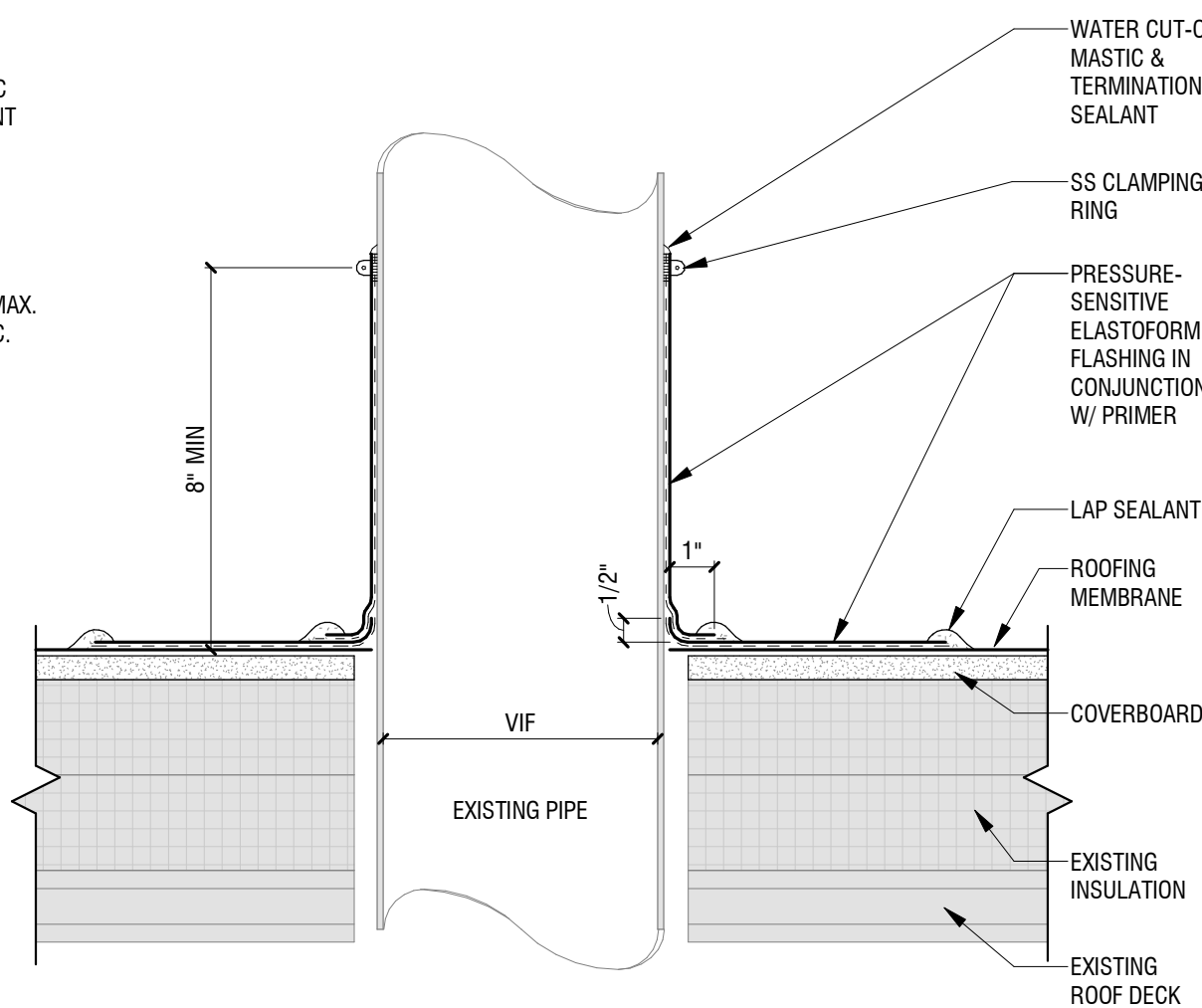




**11 SQUARE TUBE FLASHING**  
A303 3" = 1'-0"

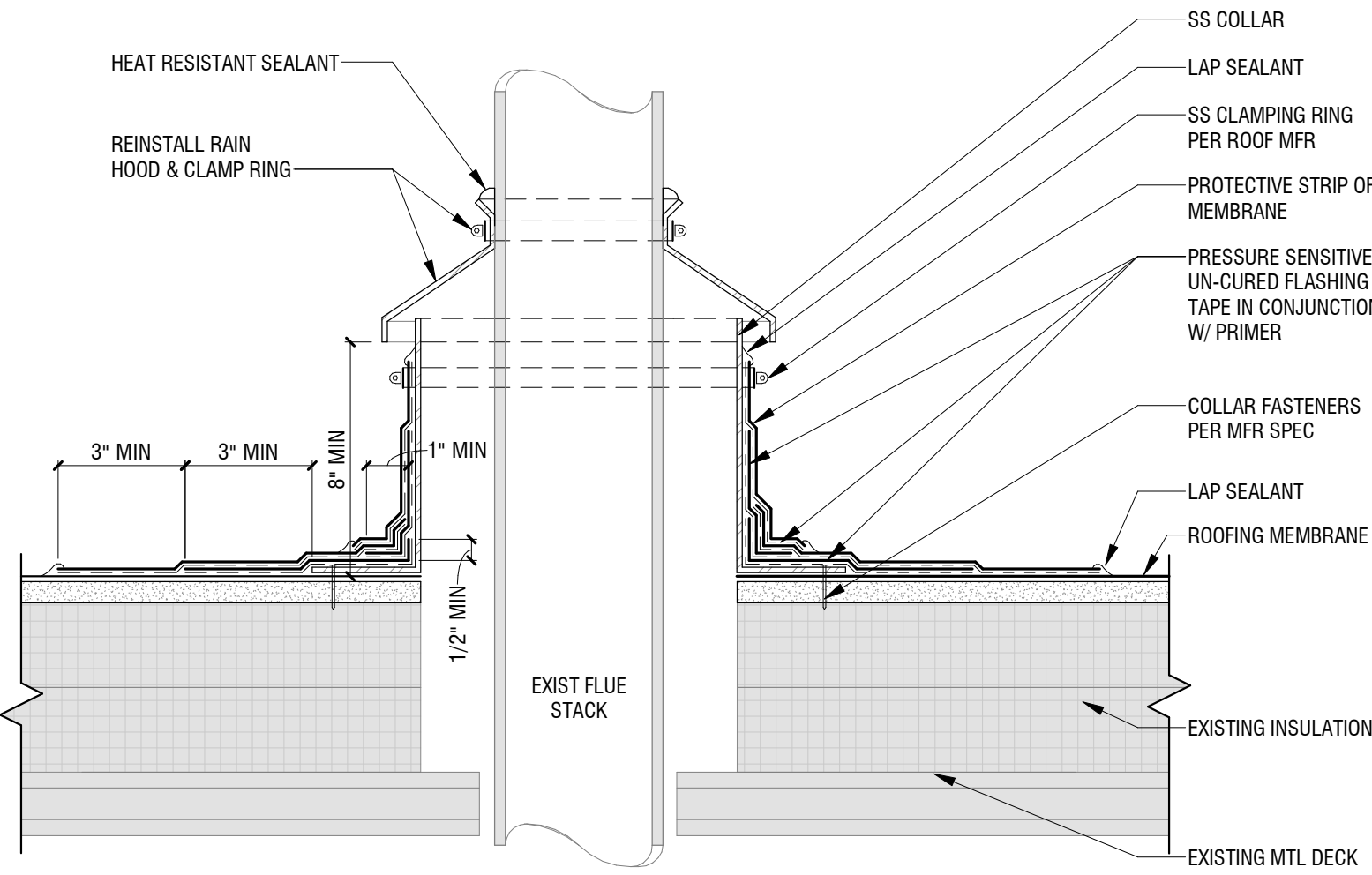


**10 ROOF PENETRATION DETAIL**  
A303 3" = 1'-0"

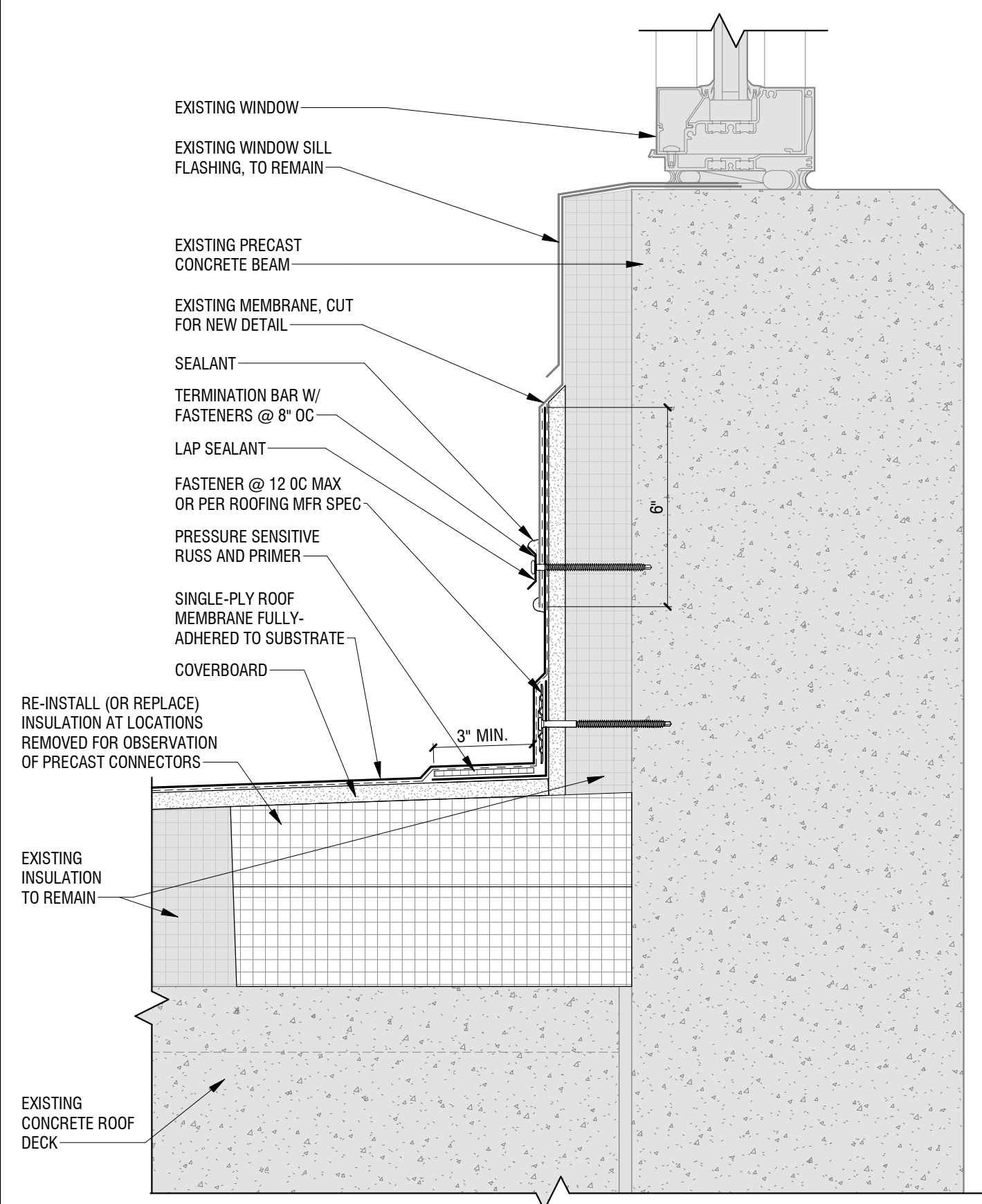


**9 VENT STACK DETAIL**  
A303 3" = 1'-0"

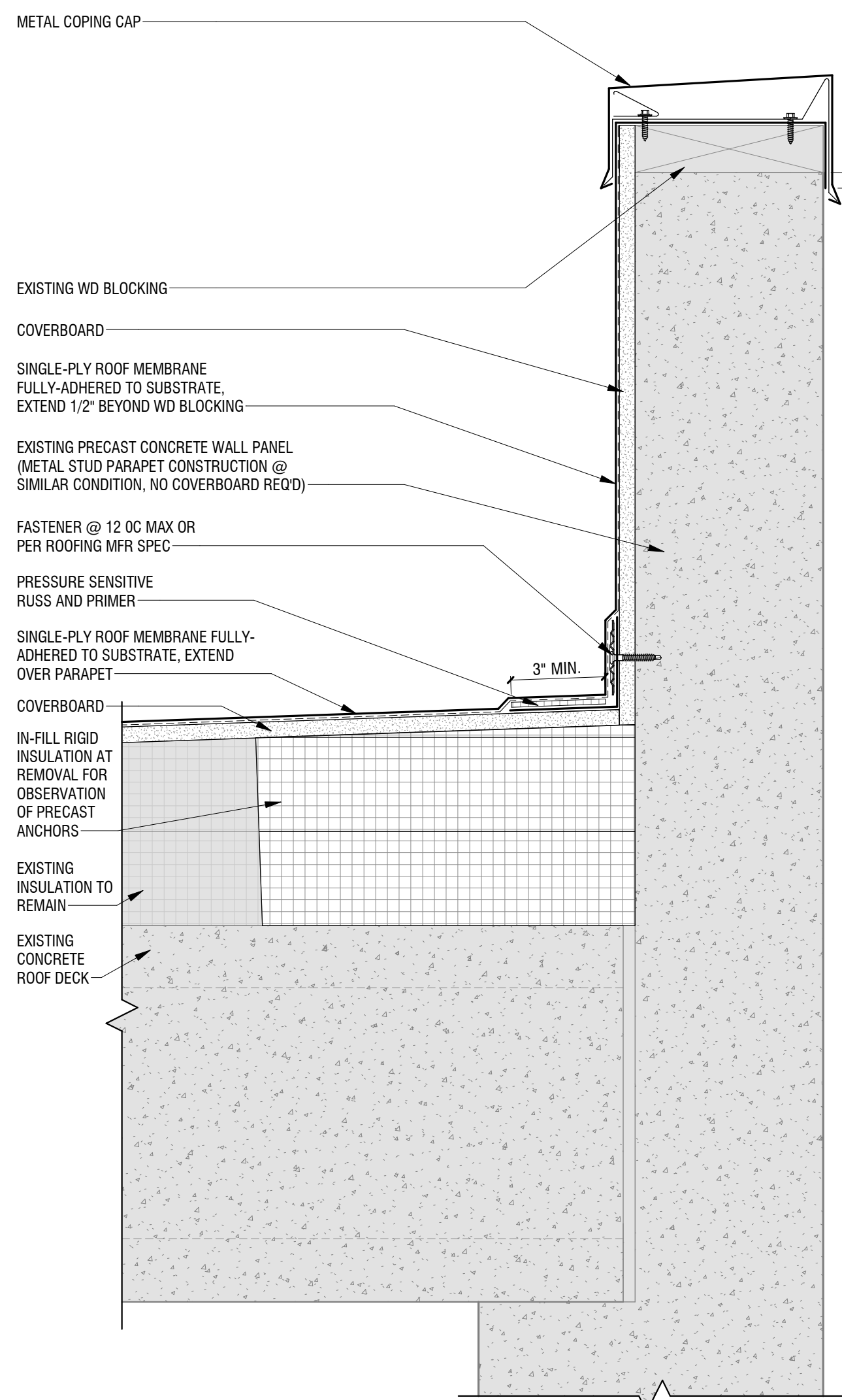
NOTE:  
GENERAL CONTRACTOR IS RESPONSIBLE FOR BLOCKING, FLASHING, STAINLESS  
STEEL COLLARS, ROOFING W/ ASSOCIATED CLAMPING RINGS AND SEALANTS.



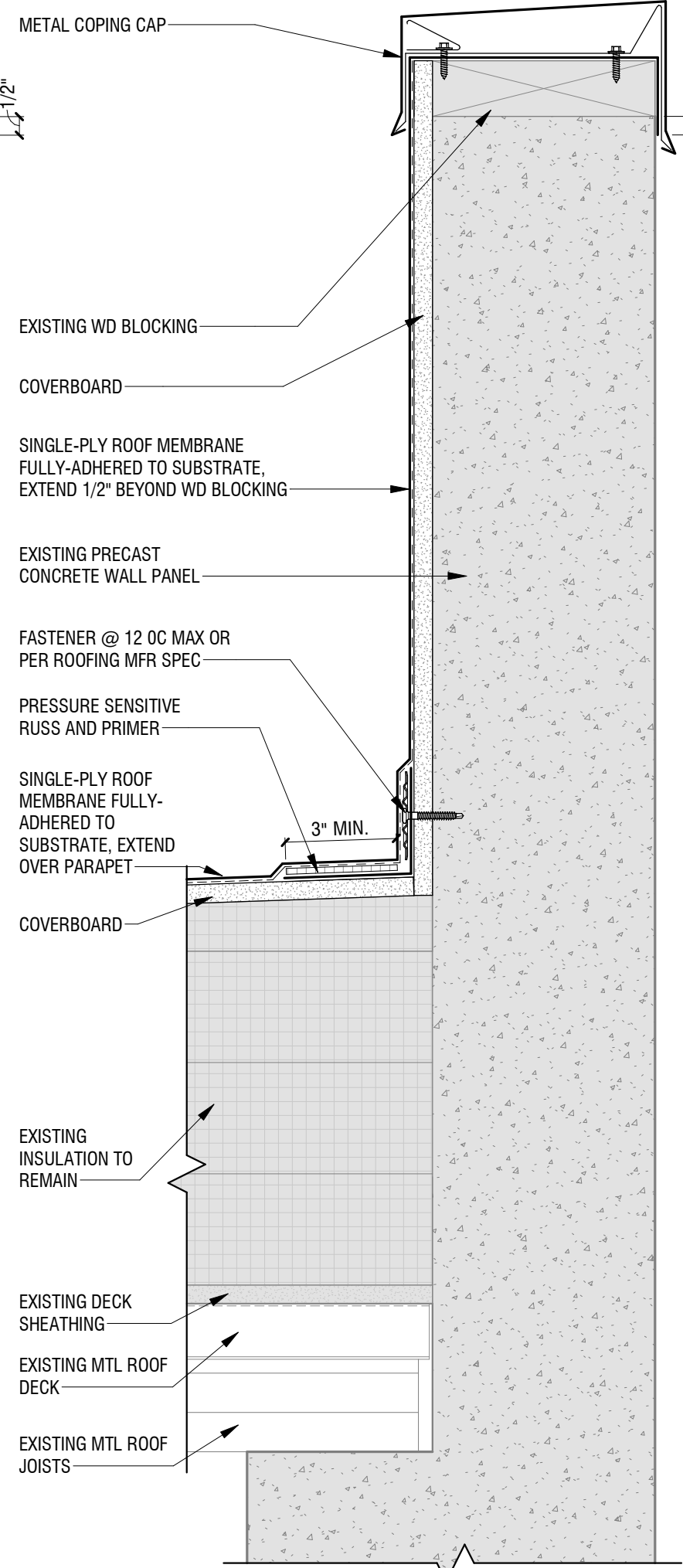
**8 ROOF HOT STACK DETAIL**  
A303 3" = 1'-0"



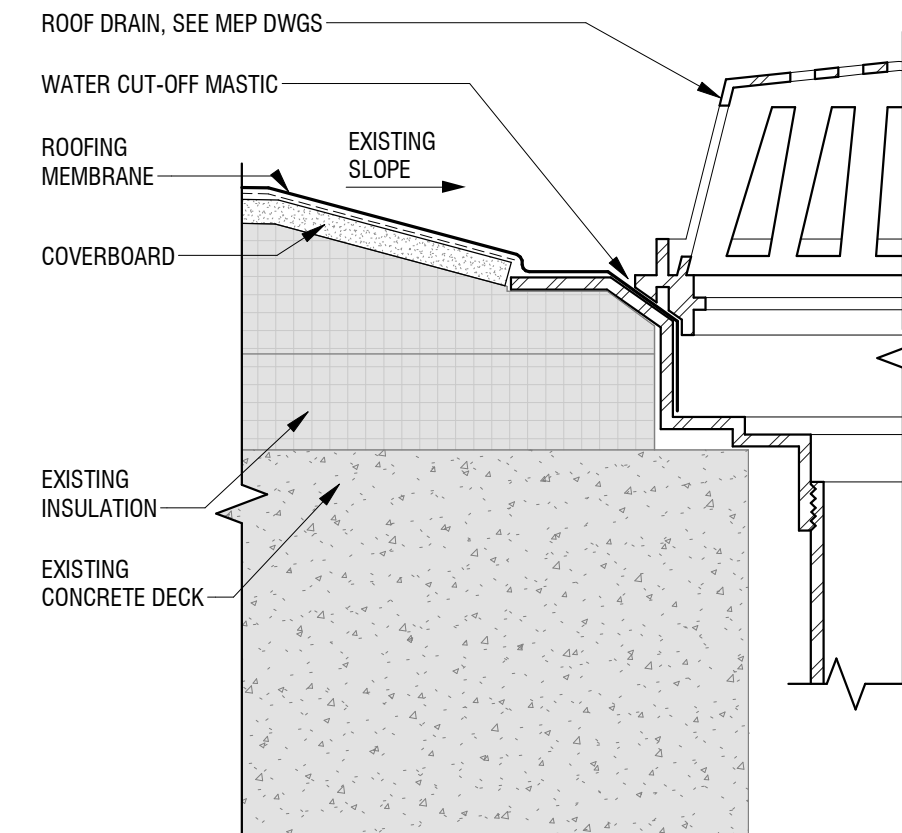
**5 PARAPET AT WINDOW DETAIL**  
A303 3" = 1'-0"



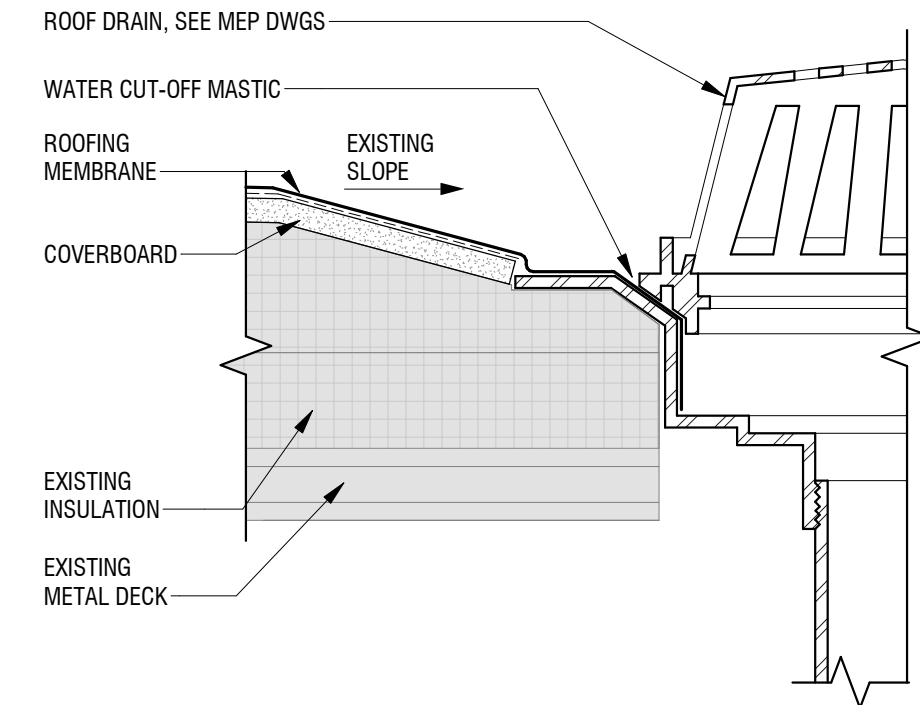
**4 PARAPET ROOF DETAIL  
AT CONCRETE PLANK ROOF DECK**  
A303 3" = 1'-0"



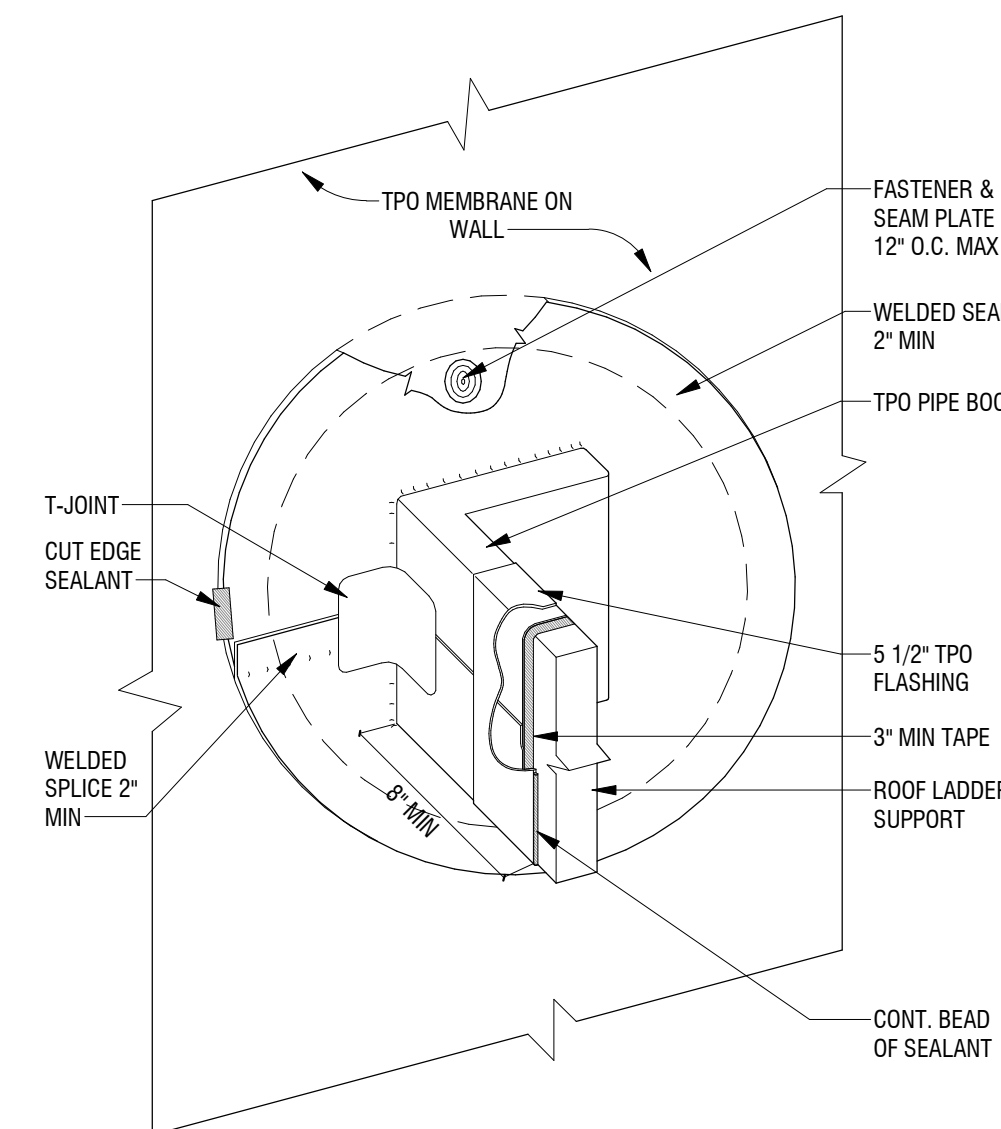
**3 PARAPET ROOF DETAIL  
AT METAL ROOF DECK**  
A303 3" = 1'-0"



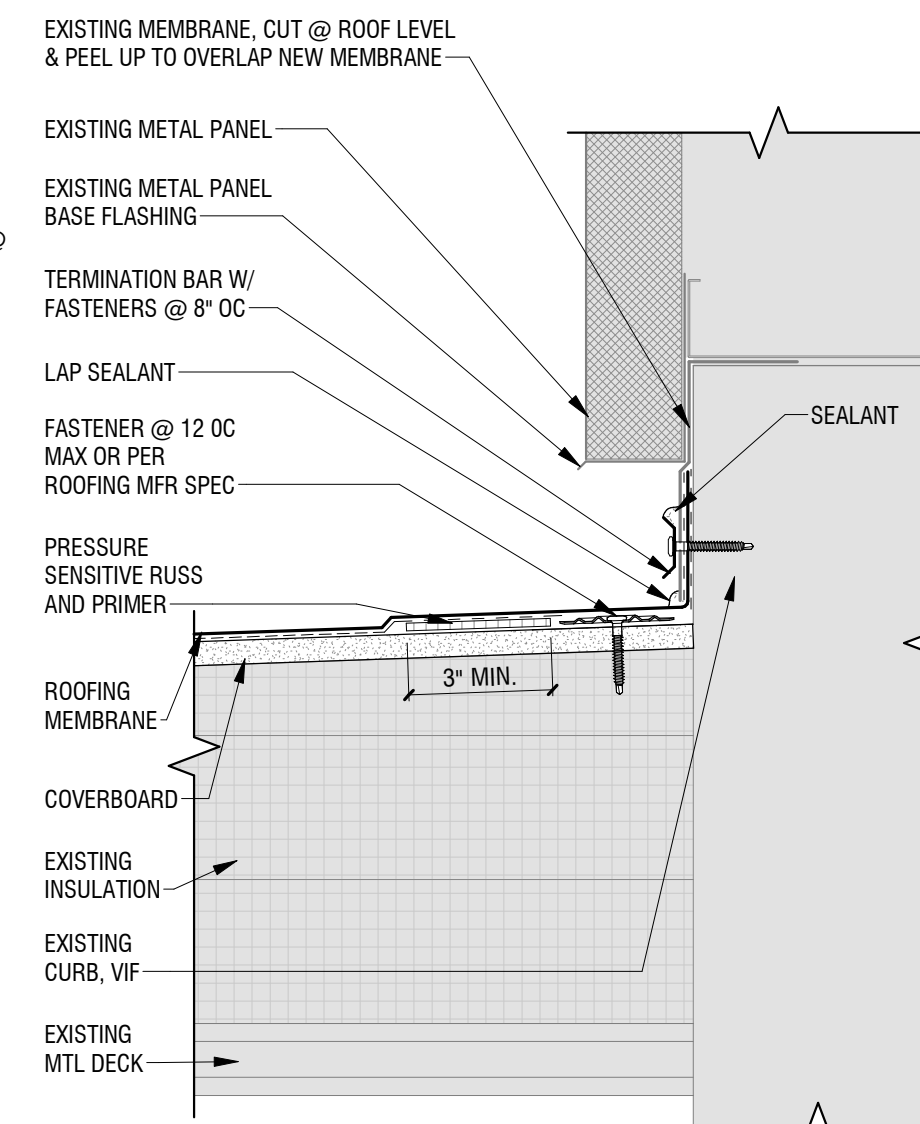
**7 ROOF DRAIN DETAIL  
AT CONCRETE PLANK**  
A303 3" = 1'-0"



**6 ROOF DRAIN DETAIL  
AT METAL DECK**  
A303 3" = 1'-0"

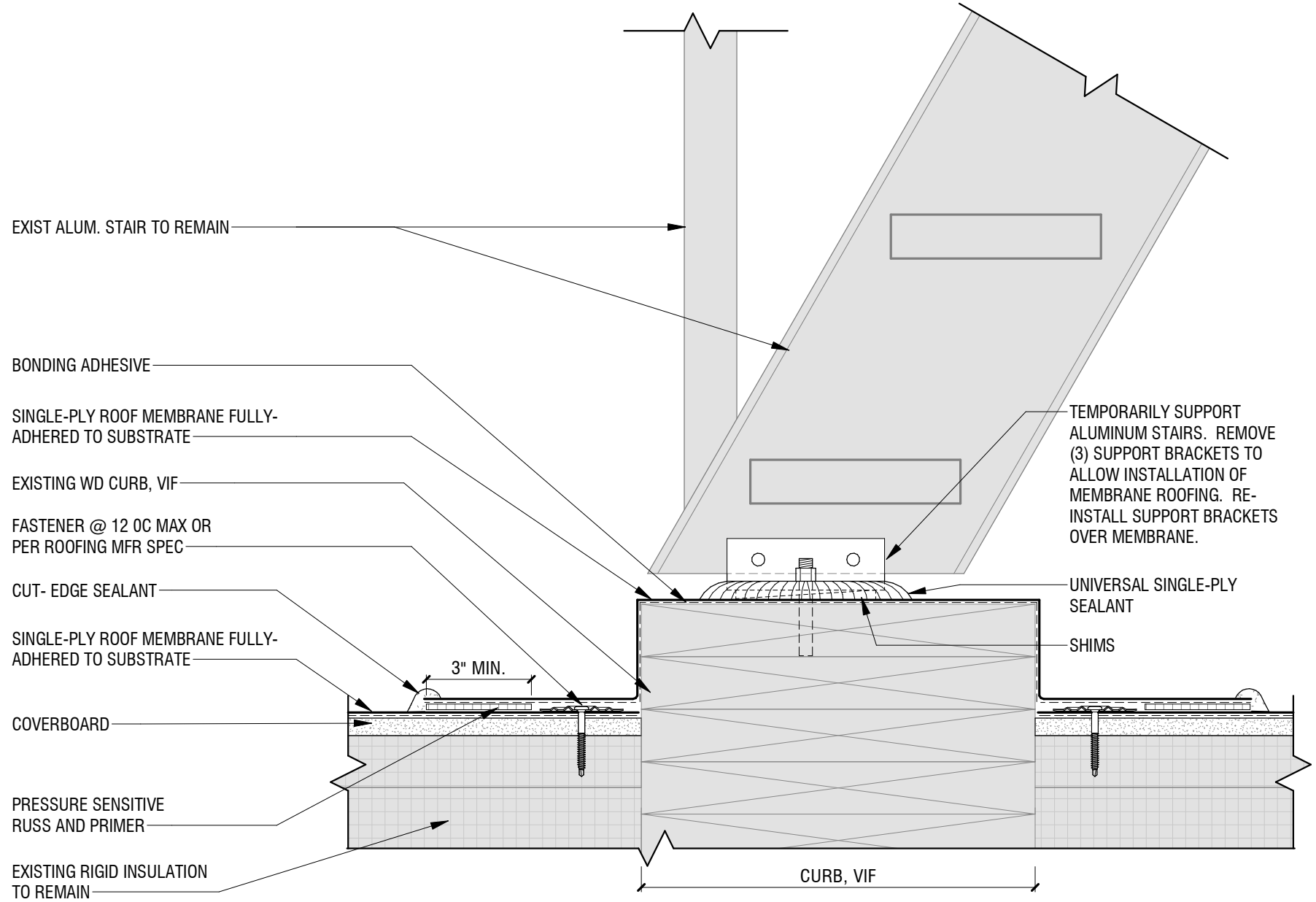


**2 LADDER ATTACHMENT**  
A303 3" = 1'-0"

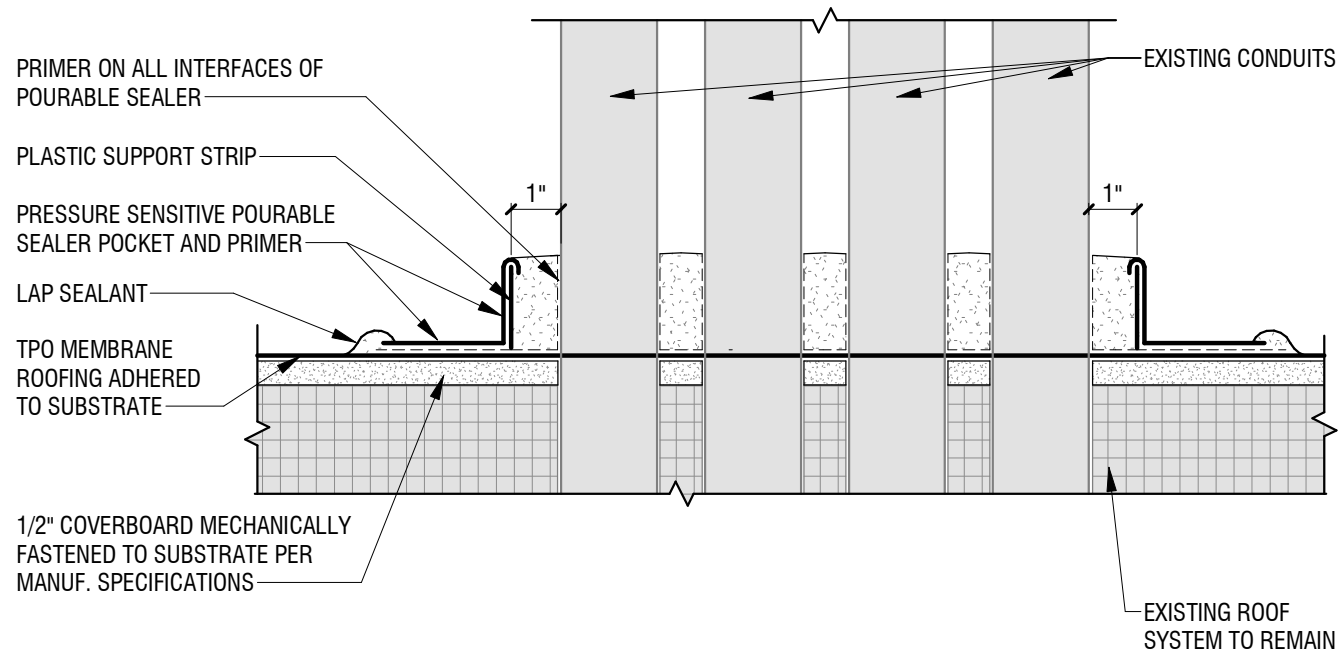


**1 ROOF FLASHING DETAIL  
@ METAL PANELS**  
A303 3" = 1'-0"

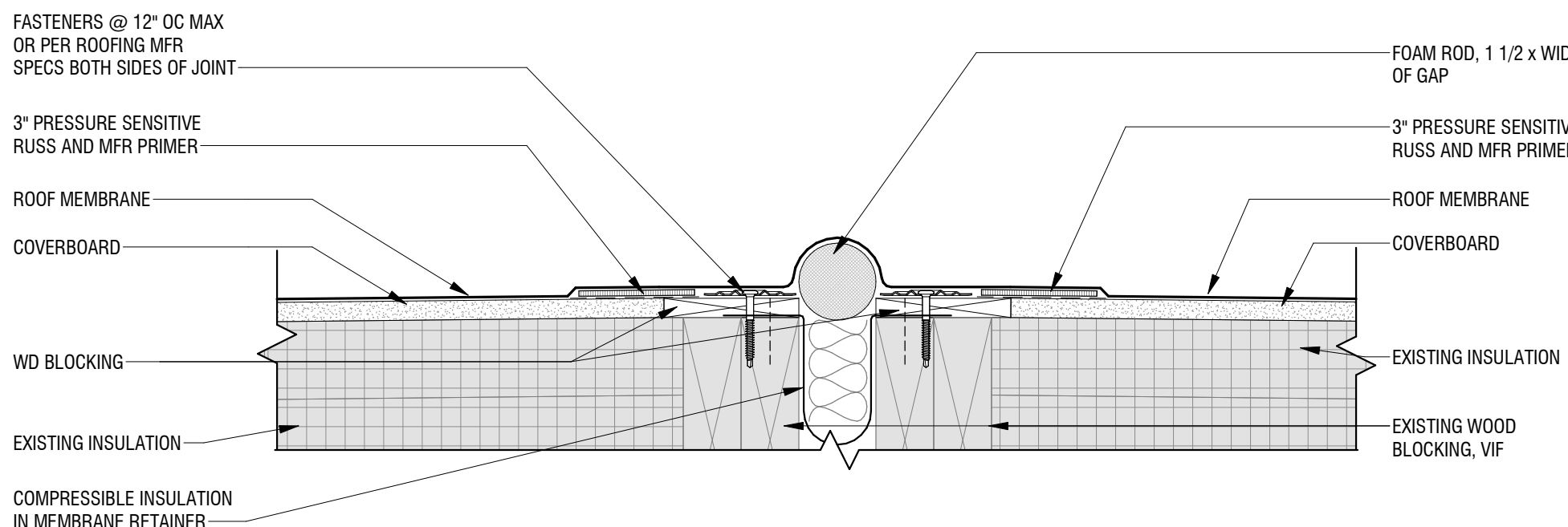




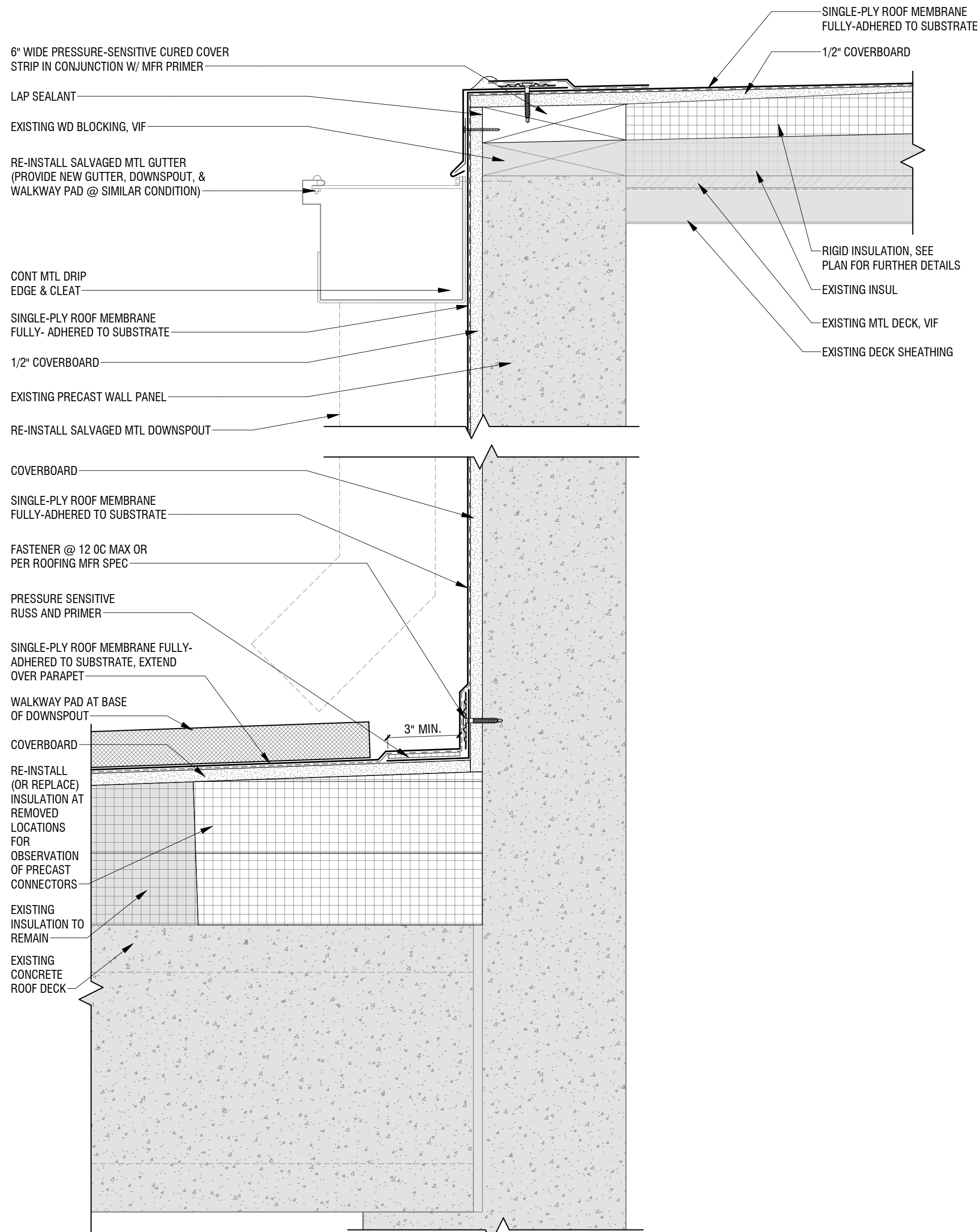
**7** EXISTING ALUM STAIR CURB DETAIL  
A304 3" = 1'-0"



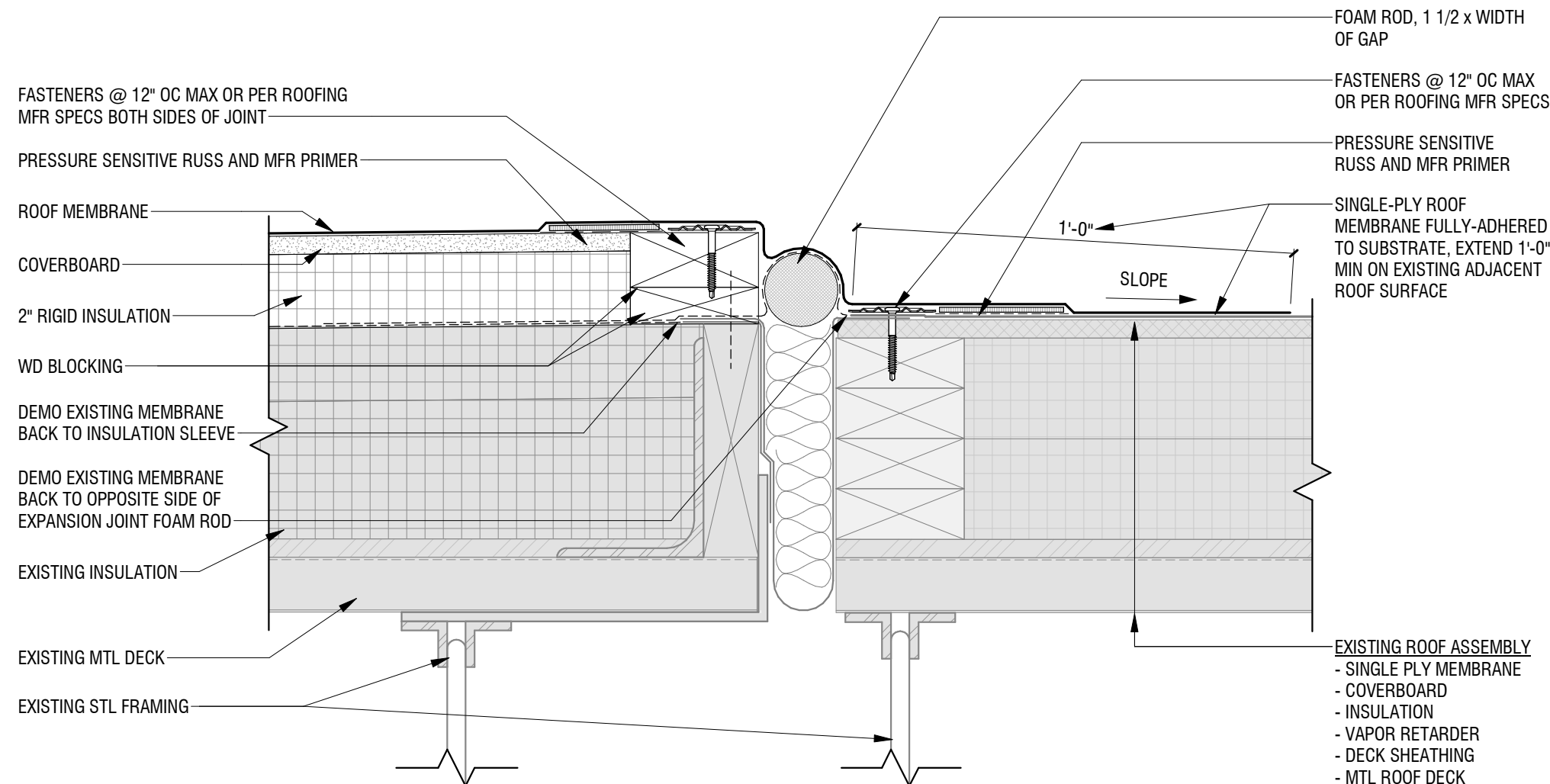
**8** PITCH PAN DETAIL  
A304 3" = 1'-0"



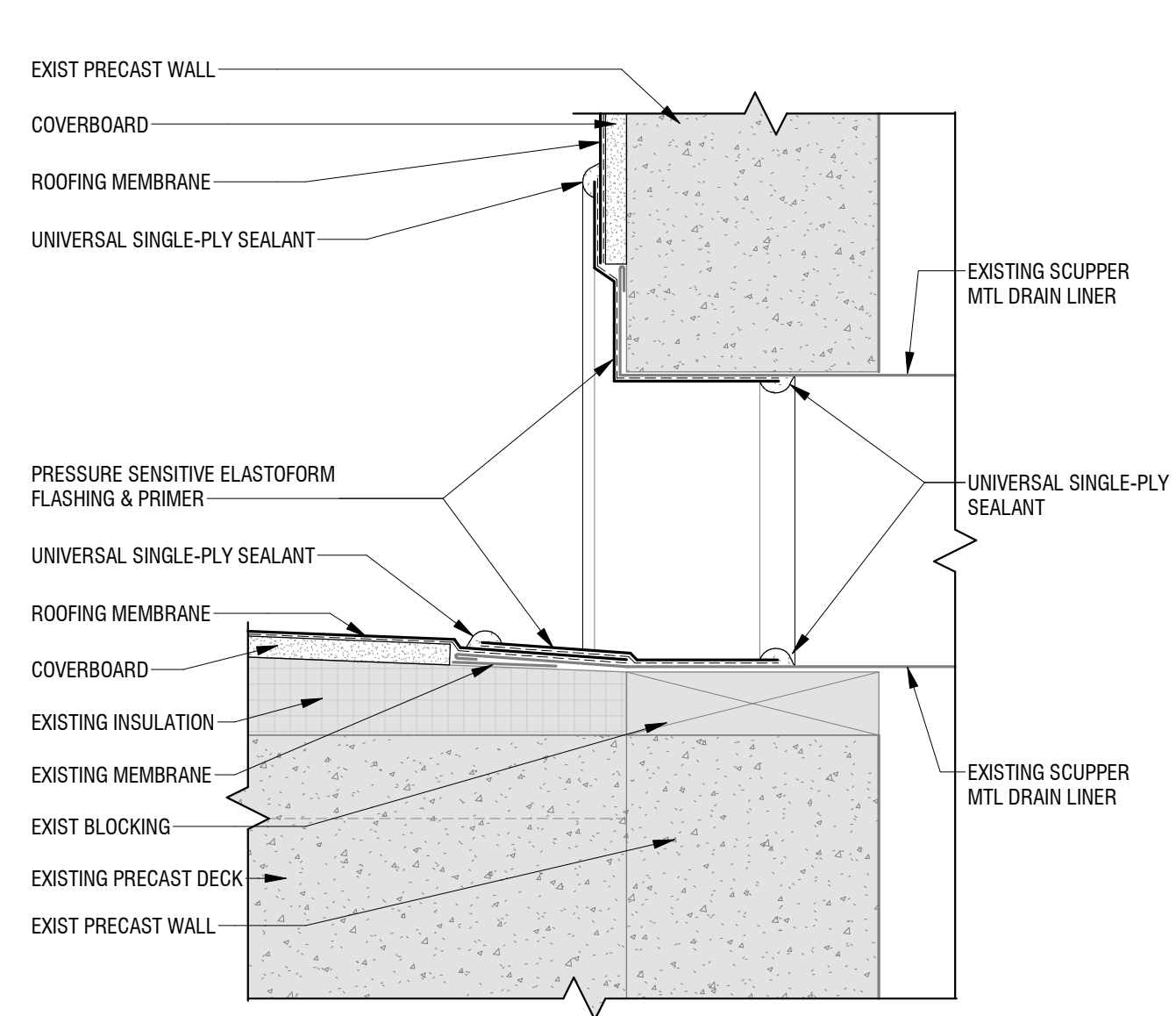
**3** EXISTING EXPANSION JOINT DETAIL  
A304 3" = 1'-0"



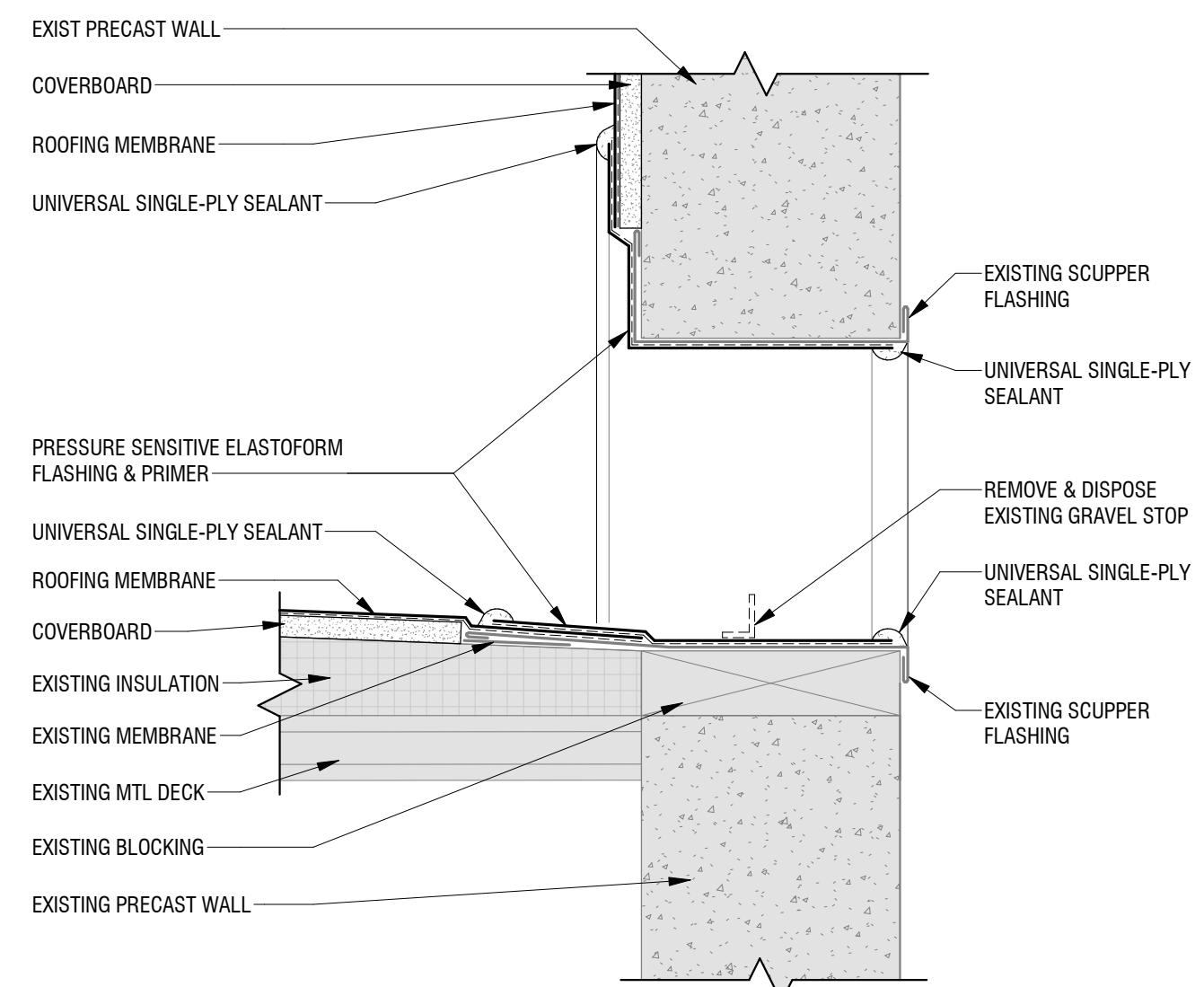
**6** PARAPET ROOF DETAIL  
A304 3" = 1'-0"



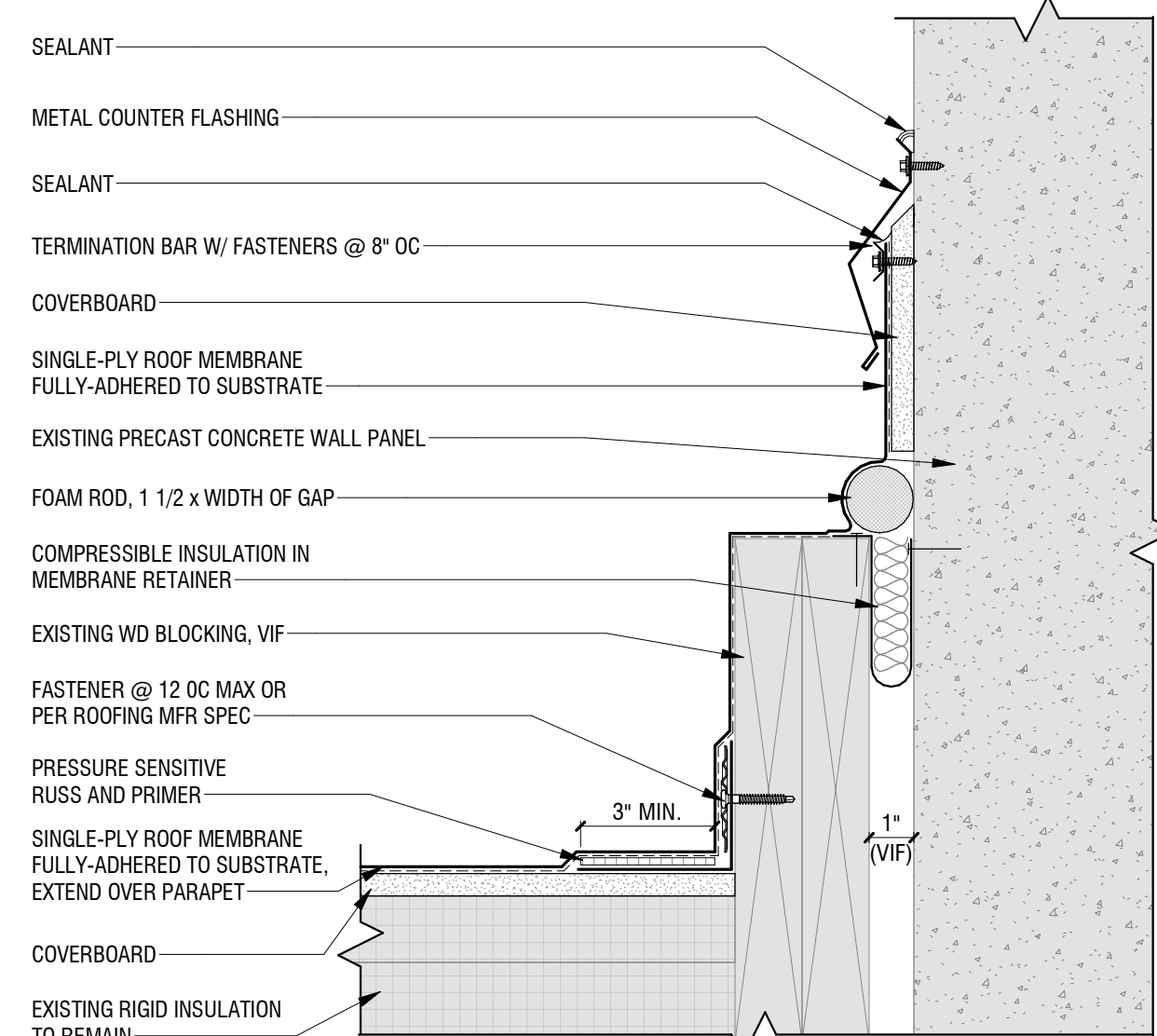
**2** EXISTING EXPANSION JOINT DETAIL  
A304 3" = 1'-0"



**5** SCUPPER DETAIL WITH EXISTING METAL DRAIN LINER  
A304 3" = 1'-0"

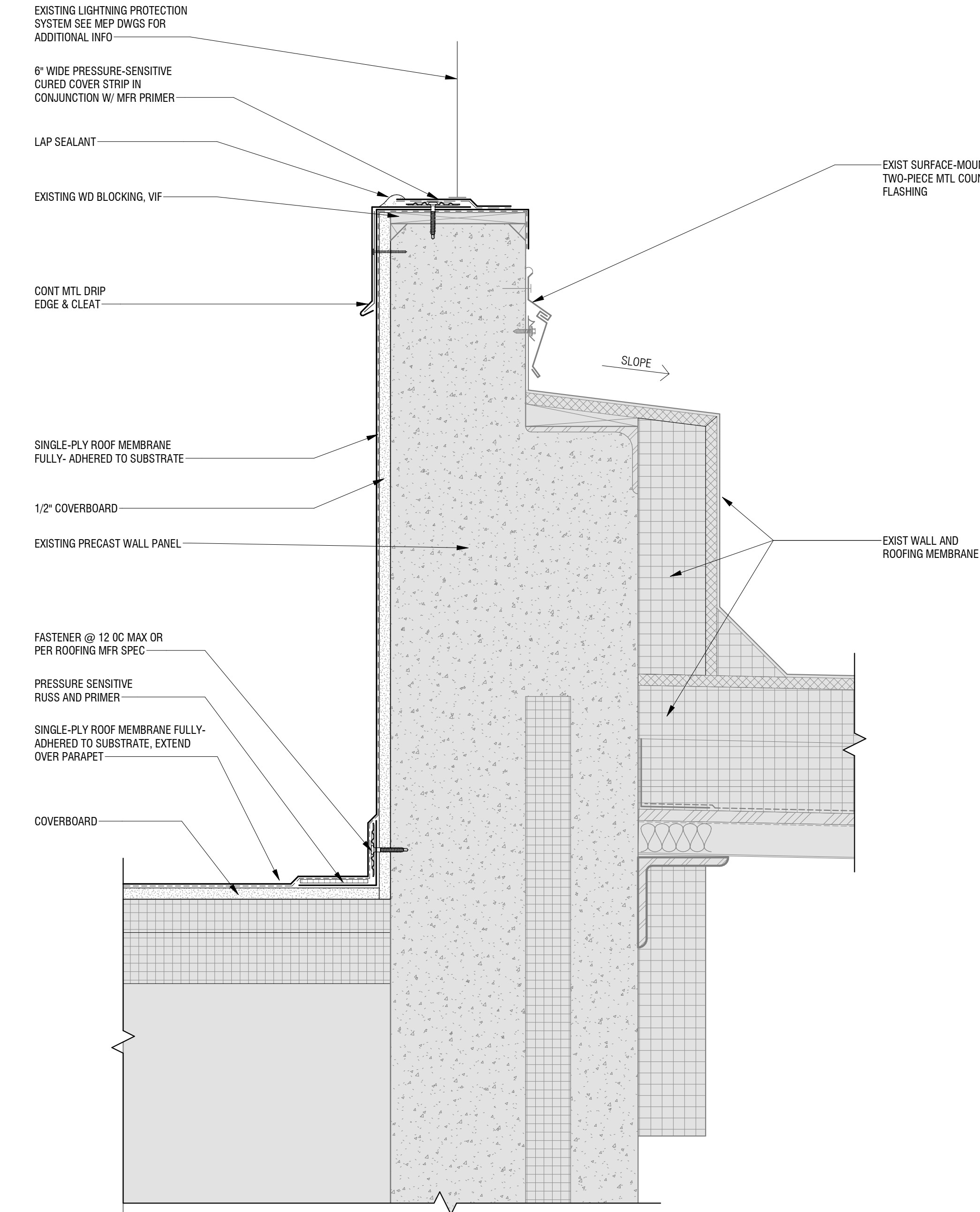


**4** SCUPPER DETAIL  
A304 3" = 1'-0"



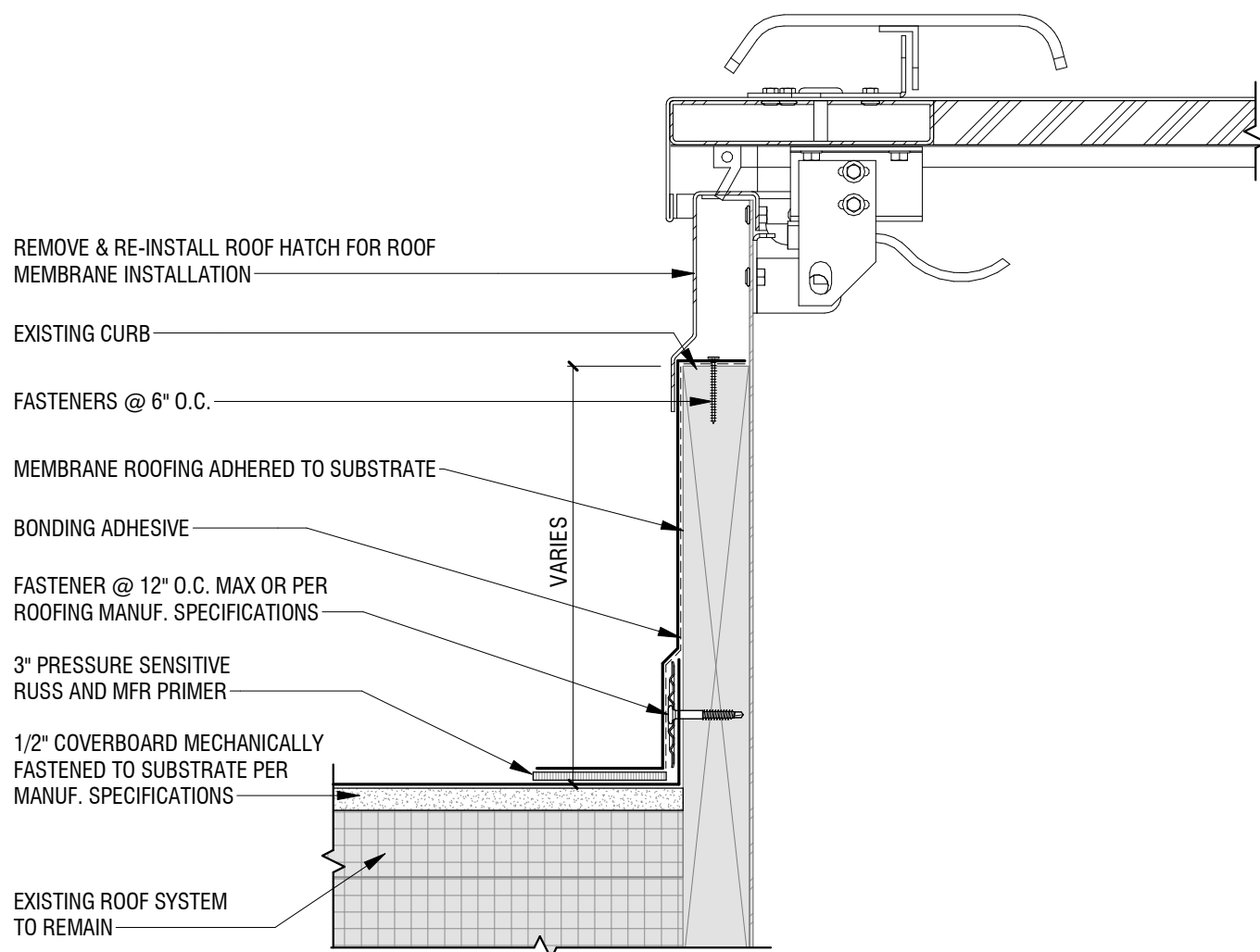
**1** EXISTING EXPANSION JOINT DETAIL  
A304 3" = 1'-0"





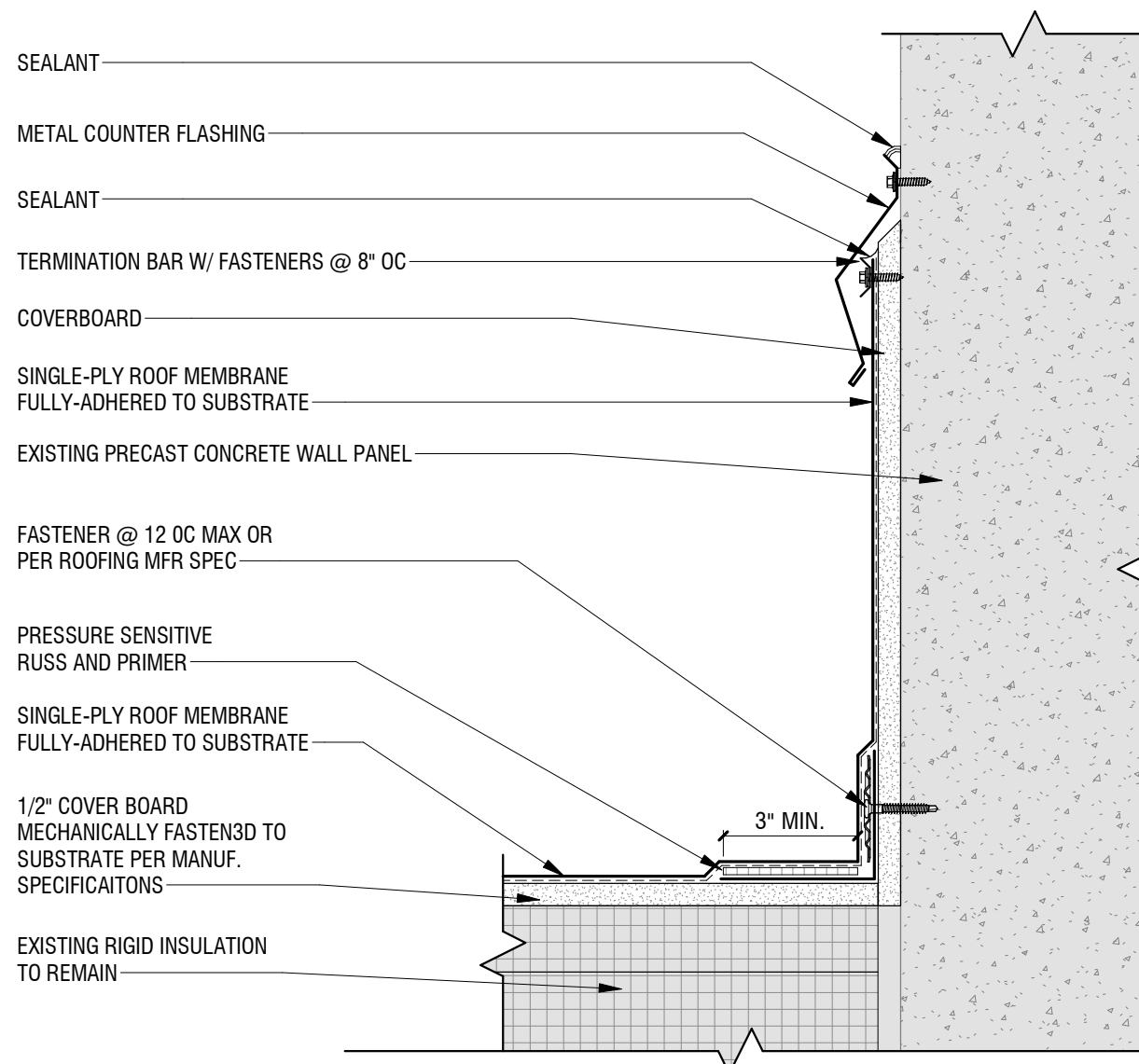
**4**  
A305  
3" = 1'-0"

**ROOF TRANSITION DETAIL**



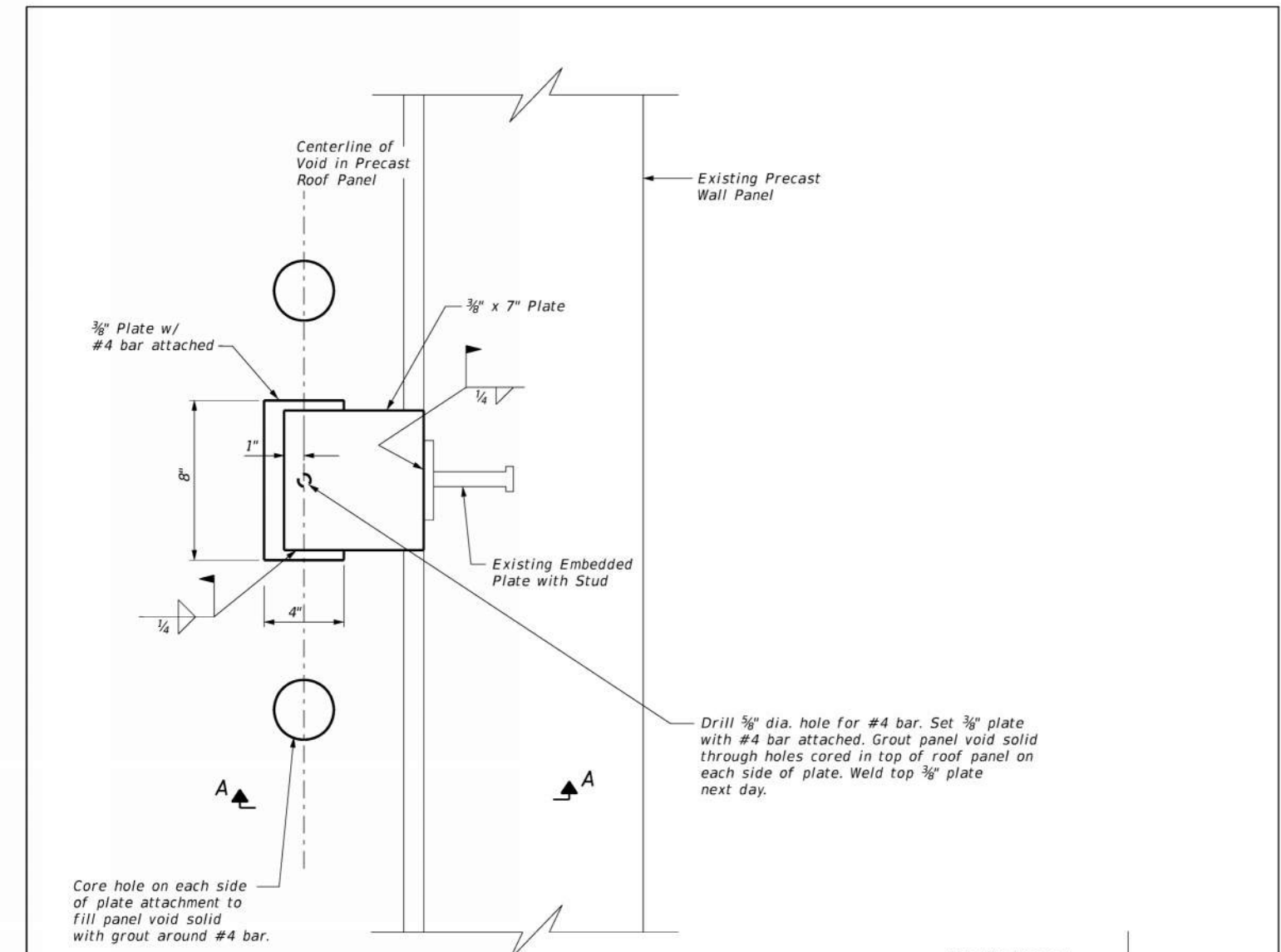
**6**  
A305  
3" = 1'-0"

**ROOF HATCH DETAIL**



**3**  
A305  
3" = 1'-0"

**ROOF DETAIL  
BASE OF WALL**



**ROOF PANEL TO  
WALL PANEL CONNECTION**  
Plan View

**NOTES:**  
Grout: 2,500 psi @ 28 days  
Sufficiently fluid to fill panel void.  
Rebar: ASTM A615, Grade 60  
Plates: ASTM A36  
Welds: E70XX Electrodes

**ENGINEERING  
RESOURCE ASSOCIATES**

2416 GALEN DRIVE  
CHAMPAIGN, ILLINOIS 61821  
PHONE (217) 358-4208  
FAX (217) 358-1902

CHAMPAIGN COUNTY JAIL  
URBANA, IL

TITLE: WALL PANEL TO  
ROOF PANEL CONNECTION

SCALE: 1/4" = 1'-0"  
DATE: APR 2025  
JOB NO.: C25010  
SHEET 1 OF 1

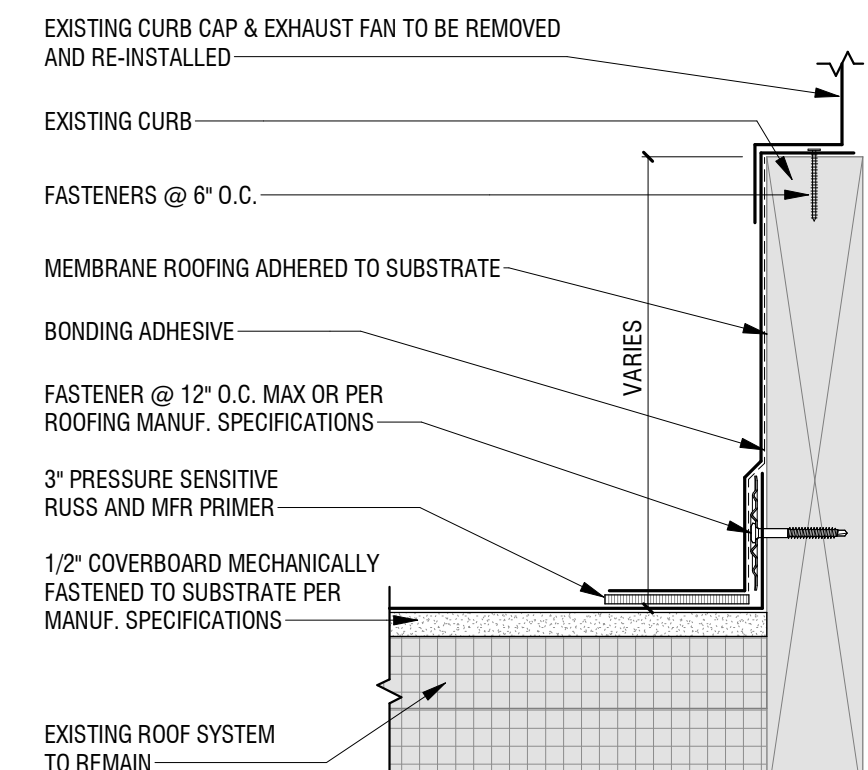
**UNIT COST ITEM #1:**  
AFTER REMOVAL OF INSULATION AT THE PERIMETER OF PRECAST WALL PANEL IDENTIFIED ON SHEETS AD301 AND AD203, IDENTIFY LOCATIONS WHERE CONNECTION BETWEEN PRECAST WALL PANEL AND PRECAST PLANK IS MISSING (SIMILARY SHOWN IN IMAGE 33). AT LOCATIONS THAT CONNECTOR IS MISSING PROVIDE CONNECTOR AS SHOWN IN THE ABOVE DETAIL ON A UNIT COST BASES ESTABLISHED ON BID FORM.

**5**  
A305  
1 1/2" = 1'-0"

**WALL PANEL TO ROOF PANEL CONNECTION**

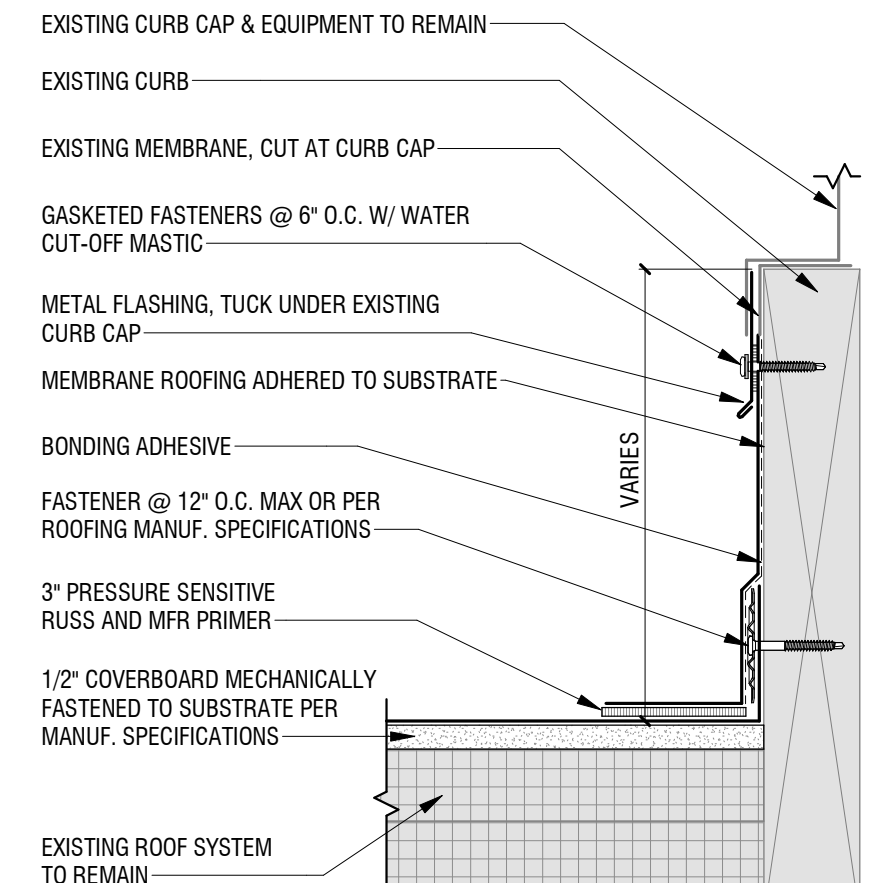


IMAGE 33



**2**  
A305  
3" = 1'-0"

**CURB DETAIL  
AT MEP UNIT TO BE REMOVED & RE-INSTALLED**



**1**  
A305  
3" = 1'-0"

**CURB DETAIL  
AT MEP UNIT OR SUPPORT TO REMAIN**

Architect:  
Date Signed: 11/30/2026  
License Expires:

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REVISIONS  
No. Date Description

**CHAMPAIGN CO.  
JAIL ROOF  
REPLACEMENT**  
502 S. Lierman Ave.  
Urbana, IL 61802

ISSUE FOR BID

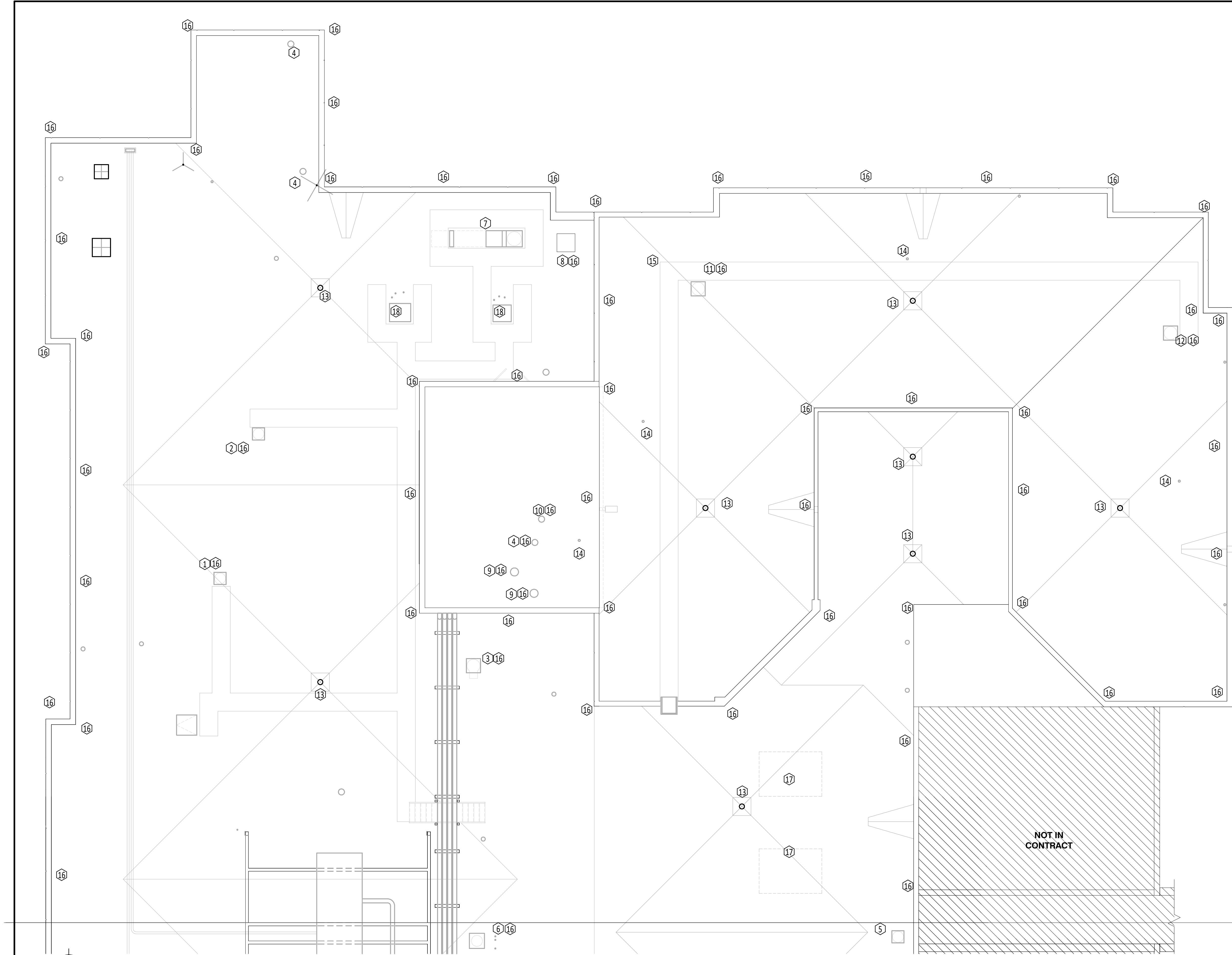
ROOF DETAILS

DATE  
22MAY25  
PROJECT  
202511

SHEET

**A305**

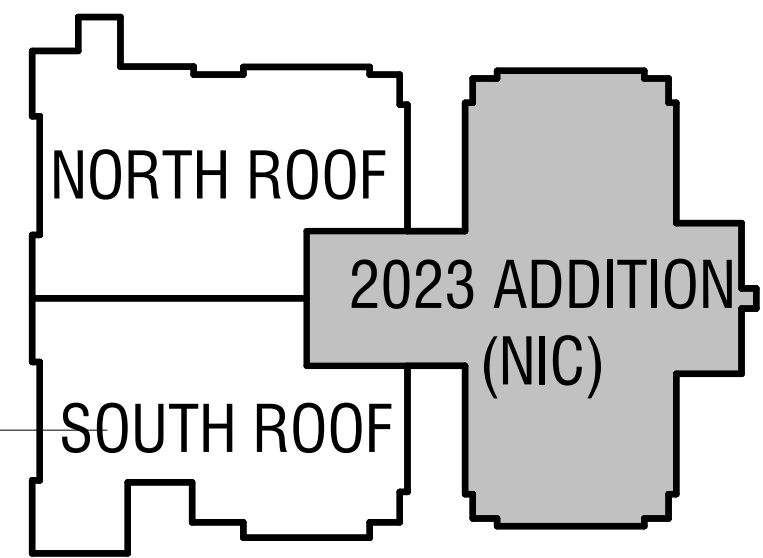




ROOF PLAN - NORTH - MECHANICAL  
SCALE: 1/8" = 1'-0"

### KEYED NOTES - MECHANICAL

- 1 REMOVE EXISTING EXHAUST FAN EF-6 FROM ROOF CURB. DISCONNECT 16"/16 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 2 REMOVE EXISTING EXHAUST FAN EF-10 FROM ROOF CURB. DISCONNECT 12" EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 3 REMOVE EXISTING EXHAUST FAN EF-9 FROM ROOF CURB. DISCONNECT 16" EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 4 REMOVE EXISTING 8" COMBUSTION VENT CAP. EXTEND VENT TO 12" ABOVE NEW ROOF HEIGHT AND REINSTALL EXISTING VENT CAP.
- 5 REMOVE EXISTING EXHAUST FAN EF-5 FROM ROOF CURB. DISCONNECT 16"/16 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 6 REMOVE EXISTING CONDENSING UNIT EF-5 FROM ROOF CURB. DISCONNECT ELECTRICAL AND REFRIGERATION PIPING FROM UNIT. REINSTALL AND RECONNECT UNIT AFTER ROOFING COMPLETION.
- 7 REMOVE EXISTING KITCHEN MAKEUP AIR INTAKE. DISCONNECT ELECTRICAL AND 32/18 DUCTWORK. REINSTALL AND RECONNECT INTAKE HOOD AFTER ROOFING COMPLETION.
- 8 REMOVE EXISTING EXHAUST FAN EF-8 FROM ROOF CURB. DISCONNECT 30/16 EXHAUST DUCT. REMOVE EXISTING ROOF CURB. PROVIDE AND INSTALL NEW 18" ROOF CURB. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION. INTERCEPT AND EXTEND FEED SERVING EXISTING EXHAUST FAN EF-8 AND CONNECT TO EF-8 AFTER REINSTALLATION. MATCH EXISTING FEED SIZE. REUSE ASSOCIATED DISCONNECT SWITCH.
- 9 REMOVE EXISTING 14" COMBUSTION VENT CAP. 12" EXTEND VENT TO 12" ABOVE NEW ROOF HEIGHT AND REINSTALL EXISTING VENT CAP.
- 10 REMOVE EXISTING 12" COMBUSTION VENT CAP. 12" EXTEND VENT TO 12" ABOVE NEW ROOF HEIGHT AND REINSTALL EXISTING VENT CAP.
- 11 REMOVE EXISTING EXHAUST FAN EF-3 FROM ROOF CURB. DISCONNECT 20/20 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 12 REMOVE EXISTING EXHAUST FAN EF-1 FROM ROOF CURB. DISCONNECT 20/20 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 13 REMOVE EXISTING ROOF DRAIN, MAINTAIN AND PROTECT EXISTING STORM AND OVERFLOW PIPING FOR NEW CONNECTIONS OF NEW ROOF DRAIN. NEW ROOF DRAIN - ZURN 100C WITH D.C.I. BODY/CAST IRON DOME, UNDERDECK CLAMP, CAST IRON DOME ON OVERFLOW PIPE AND ROOF SUMP RECEIVER. INSULATE ROOF DRAIN BODY.
- 14 EXTEND EXISTING 4" PLUMBING VENT TO 12" ABOVE NEW FINISHED ROOF HEIGHT.
- 15 EXTEND EXISTING 6" PLUMBING VENT TO 12" ABOVE NEW FINISHED ROOF HEIGHT.
- 16 REMOVE EXISTING LIGHTNING PROTECTION AIR TERMINAL AND ASSOCIATED WIRING. STORE LIGHTNING PROTECTION EQUIPMENT. REINSTALL LIGHTNING PROTECTION SYSTEM AFTER ROOFING WORK IS COMPLETE.
- 17 REMOVE ABANDONED ELECTRICAL CONDUIT TO BELOW ROOF MEMBRANE AND CAP.
- 18 REMOVE EXISTING ROOF MOUNTED KITCHEN CONDENSING UNIT. DISCONNECT REFRIGERANT PIPING AND ELECTRICAL. REINSTALL AND RECONNECT REFRIGERANT PIPING AND ELECTRICAL AFTER ROOFING WORK IS COMPLETE.



KEY PLAN  
NO SCALE

**REIFSTECK WAKEFIELD FANNING**  
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**GHR ENGINEERS AND ASSOCIATES, INC.**  
Mechanical & Electrical Consulting Engineers  
1615 South Neil Street, Champaign, Illinois 61820  
217-356-0236 Business - 217-356-1052 Fax

Architect:  
Date Signed:  
License Expires: 11/30/2026

#### REVISIONS

No.	Date	Description
-----	------	-------------

CHAMPAIGN CO.  
JAIL, ROOF  
REPLACEMENT  
502 S. Lierman Ave.  
Urbana, IL 61802

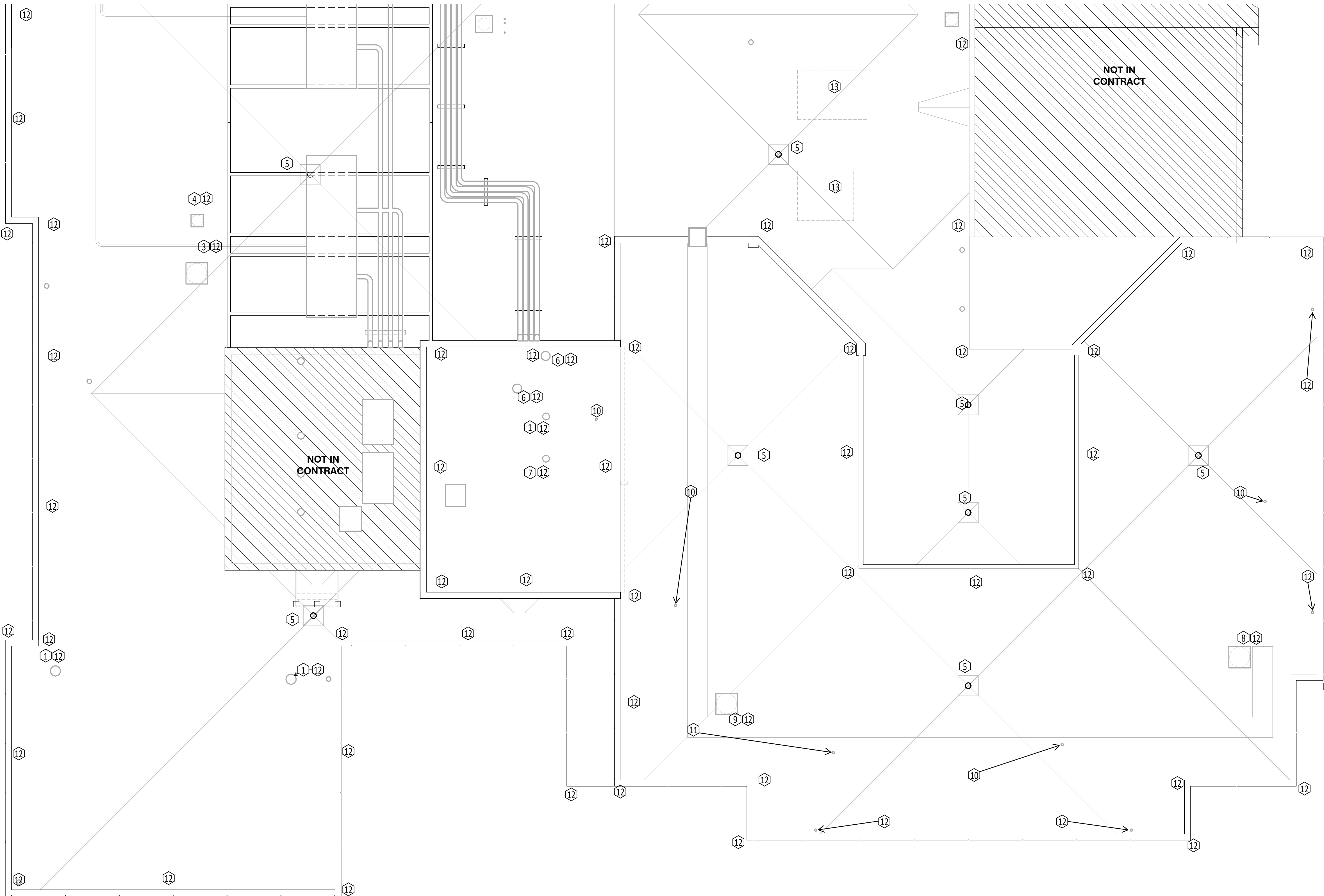
ISSUED FOR BID

ROOF PLAN - NORTH -  
MECHANICAL

DATE 5/22/25	SHEET MEP-301
PROJECT GHR# 7781	

5/22/2025 10:13:12 AM

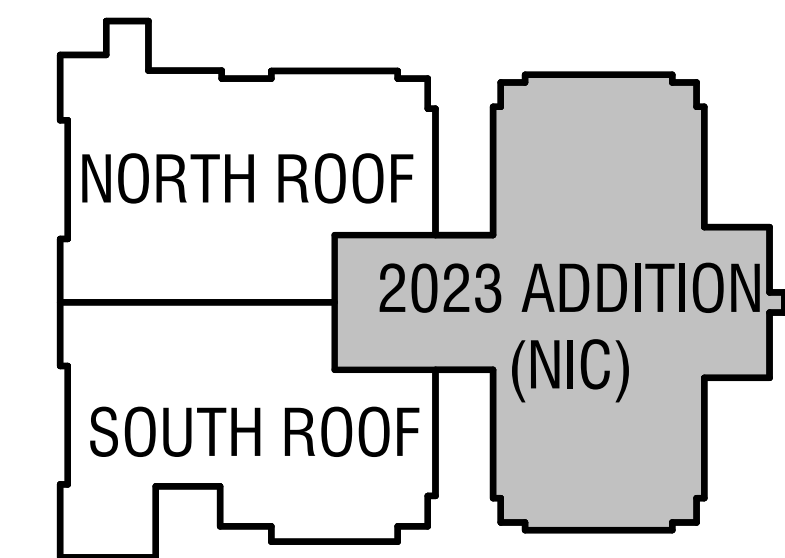




ROOF PLAN - SOUTH - MECHANICAL  
SCALE: 1/8" = 1'-0"

### KEYED NOTES - MECHANICAL

- 1 REMOVE EXISTING 8" COMBUSTION VENT CAP. EXTEND VENT TO 12" ABOVE NEW ROOF HEIGHT AND REINSTALL EXISTING VENT CAP.
- 2 REMOVE EXISTING 8" COMBUSTION VENT CAP. EXTEND VENT TO 12" ABOVE NEW ROOF HEIGHT AND REINSTALL EXISTING VENT CAP.
- 3 REMOVE EXISTING EXHAUST FAN EF-19 FROM ROOF CURB. DISCONNECT 30/30 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 4 REMOVE EXISTING EXHAUST FAN EF-7 FROM ROOF CURB. DISCONNECT 16/16 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 5 REMOVE EXISTING ROOF DRAIN, MAINTAIN AND PROTECT EXISTING STORM AND OVERFLOW PIPING FOR NEW CONNECTIONS OF NEW ROOF DRAIN. NEW ROOF DRAIN - ZURN 100C WITH D.C.C.I. BODY/CAST IRON DOME, UNDERDECK CLAMP, CAST IRON DOME ON OVERFLOW PIPE AND ROOF SUMP RECEIVER. INSULATE ROOF DRAIN BODY.
- 6 REMOVE EXISTING 12" COMBUSTION VENT CAP. EXTEND VENT TO 12" ABOVE NEW ROOF HEIGHT AND REINSTALL EXISTING VENT CAP.
- 7 REMOVE EXISTING 14" COMBUSTION VENT CAP. EXTEND VENT TO 12" ABOVE NEW ROOF HEIGHT AND REINSTALL EXISTING VENT CAP.
- 8 REMOVE EXISTING EXHAUST FAN EF-2 FROM ROOF CURB. DISCONNECT 20/20 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 9 REMOVE EXISTING EXHAUST FAN EF-4 FROM ROOF CURB. DISCONNECT 20/20 EXHAUST DUCT AND ELECTRICAL CONNECTION. REINSTALL AND RECONNECT EXHAUST FAN AFTER ROOFING COMPLETION.
- 10 EXTEND EXISTING 4" PLUMBING VENT TO 12" ABOVE NEW FINISHED ROOF HEIGHT.
- 11 EXTEND EXISTING 6" PLUMBING VENT TO 12" ABOVE NEW FINISHED ROOF HEIGHT.
- 12 REMOVE EXISTING LIGHTNING PROTECTION AIR TERMINAL AND ASSOCIATED WIRING. STORE LIGHTNING PROTECTION EQUIPMENT. REINSTALL LIGHTNING PROTECTION SYSTEM AFTER ROOFING WORK IS COMPLETE.
- 13 REMOVE ABANDONED ELECTRICAL CONDUIT TO BELOW ROOF MEMBRANE AND CAP.



KEY PLAN  
NO SCALE

**REIFSTECK WAKEFIELD FANNING**  
Reifsteck Reid & Company Architects  
d/b/a Reifsteck Wakefield Fanning & Company  
909 Arrow Road, Suite #4, Champaign, IL 61821  
217.351.4100 www.rwf-arch.com  
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**GHR ENGINEERS AND ASSOCIATES, INC.**  
Mechanical & Electrical Consulting Engineers  
1615 South Neil Street, Champaign, Illinois 61820  
217-356-0236 Business • 217-356-1052 Fax

Architect:  
Date Signed:  
License Expires: 11/30/2026

REVISIONS  
No. Date Description

CHAMPAIGN CO.  
JAIL, ROOF  
REPLACEMENT  
502 S. Lierman Ave.  
Urbana, IL 61802

ISSUED FOR BID

ROOF PLAN - SOUTH -  
MECHANICAL

DATE  
5/22/25  
PROJECT  
GHR# 7781

SHEET  
MEP-302

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